

**CITY OF SAINT PAUL  
HERITAGE PRESERVATION COMMISSION  
CERTIFICATE OF APPROVAL FOR MINOR WORK  
FILE NUMBER: 11-239565**

**POST THIS PAGE  
SO IT IS VISIBLE FROM THE STREET**

**DATE:** June 15, 2011  
**PROJECT ADDRESS:** 539 HOLLY AVE  
**HPC SITE/DISTRICT:** HPL-Hill  
**APPLICANT:** SUSSEL CORP  
**PHONE:** 651-645-0331

**PROPERTY DESCRIPTION:** A two story vernacular residence constructed in an irregular plan with a course limestone foundation and two intersecting gabled roofs.

**SITE NAME:**  
**ARCHITECT/BUILDER:**  
**DATE BUILT:** 1880  
**CLASSIFICATION:** Contributing

**PROPOSED CHANGES:** New detached garage and demolition of existing garage. New structure will have a rock faced block foundation, hardi siding and corner posts, 3 tab shingles to match house, wood soffit and fascia, and a double hung aluminum clad window on south elevation.

APPROVED AS SUBMITTED  APPROVED WITH CONDITIONS:

**The following conditions must be met in order to comply with the applicable preservation program [Leg. Code, § 73.06 (c)(e)]:**

1. Foundation block above grade shall be rock faced and in a similar color as the foundation of the house.
2. The frieze board shall be the same profile and size of the base board and be installed below the eave on all elevations.
3. The corner boards, door and window trim shall have a four to six inch profile.
4. The GAF shingles shall be weathered gray or nickel gray.
5. Paint or stain within one year of permit issuance.

*Christine Bonducat* Co. 15-11

Signature of Authorized Official as stated in Legislative Code, § 73.06 (e)

**NOTE: All plans must be stamped approved before a city permit is issued. This approval does not obviate the need for meeting applicable building and zoning code requirements. An HPC approval or conditional approval expires after one year if no permit has been issued. If revisions to the approved plan are made, be aware that an additional HPC and/or staff review will be required. Post this notice so that it is visible from the street and until completion of the project.**



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**PROJECT ADDRESS:** 539 HOLLY AVE  
**HPC SITE/DISTRICT:** HPL-Hill  
**APPLICANT:** SUSSEL CORP  
**PHONE:** 651-645-0331  
**OWNER INFORMATION:** ROBERT PARSONS  
539 HOLLY AVE  
ST PAUL MN 55102-2207

**PROPOSED CHANGES:** New detached garage and demolition of existing garage. New structure will have a rock faced block foundation, hardi siding and corner posts, 3 tab shingles to match house, wood soffit and fascia, and a double hung aluminum clad window on south elevation.

**The work to be performed has been approved pursuant to the program for preservation and architectural control for the applicable heritage preservation site or district property [Legislative Code, Section 73.06]. In addition, the following findings have been made to support the approval or conditional approval:**

1. Existing garage is from the period of significance from the historic district although not from the same period as the construction of the house.
2. The existing garage is located at the rear of the property, has defining features from early auto garages, but is in a condition that appears to be poor.
3. The demolition of the existing garage will not have a significant impact on the property or the program for preservation in the Hill Historic District.

**Please note: This approval is limited to the aforementioned work to the affected property. Any additional work to be done must be submitted to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.**

City of Saint Paul  
Department of Safety and Inspections  
375 Jackson Street, Suite 220  
Saint Paul, MN 55101-1806  
PHONE: (651) 266-9090  
FAX: (651) 266-9124



**PLOT PLAN**



Robert Parson  
 539 Holly Ave.  
 St. Paul, MN 55102  
 Home: 651-227-0408

CITY

LEGAL DESCRIPTION

LOT:

BLOCK:

ADDITION:

LOT SIZE:

50 x 143

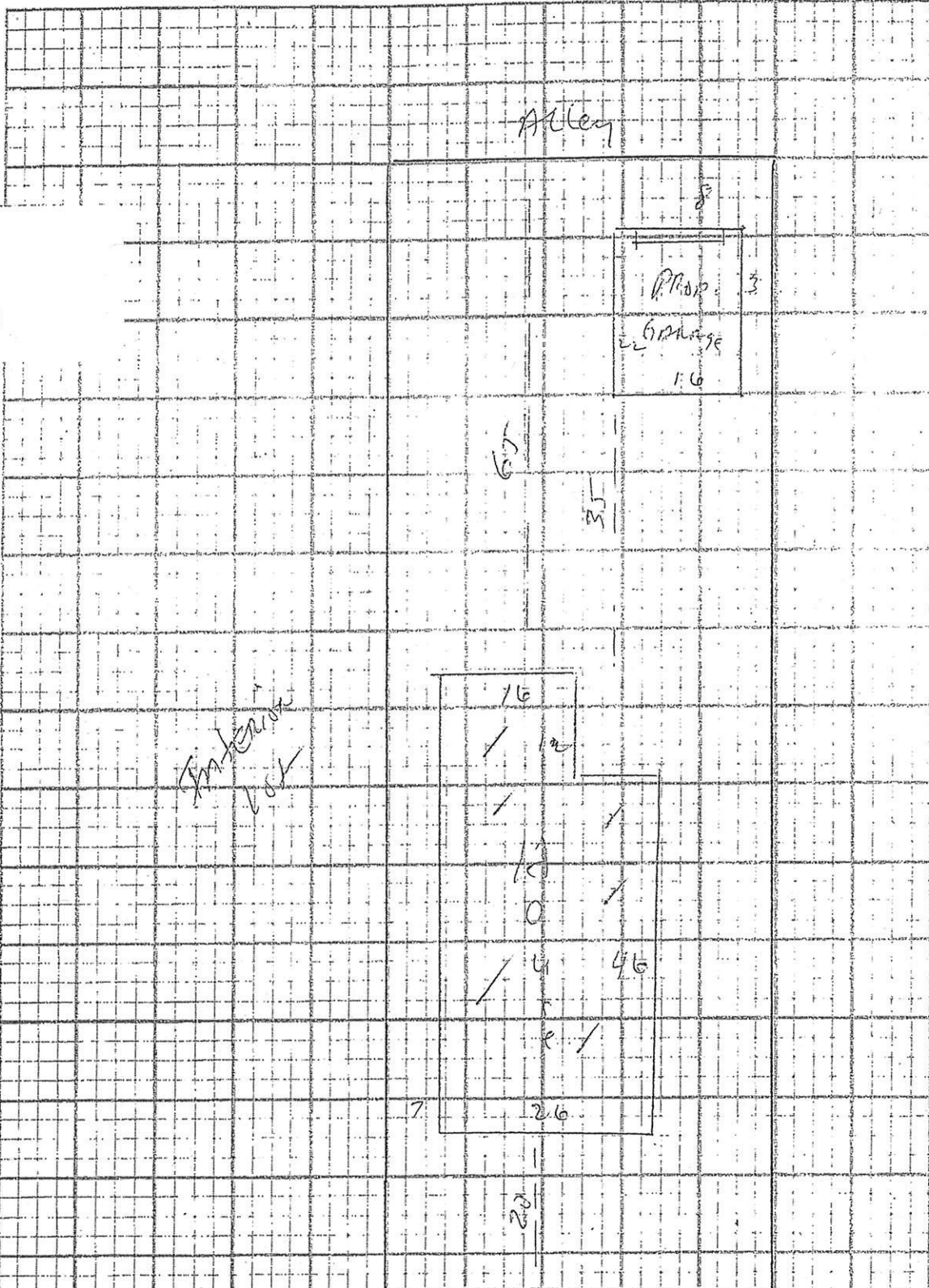
HOUSE SIZE:

SQ. FT.

CROSS STREETS:

Keat

AND



REAR YARD 50x65x35% EASEMENT - 100' MIN  
 GARAGE 16x22 = 352  
 SETBACKS MIN ACT  
 FRONT 6 35  
 REAR 1 8  
 SIDE 3 3 3 3

DIRECTION



Job # 1356  
 Robert W. Parson  
 539 Holly Ave.  
 St. Paul, MN 55102  
 Home: 651-227-0408 (retired)

16x22 Det. AB W/Conc.

Dennis Jarrot 5/25/11 Lead #21375

Builders License #1934

Permit by Parson  
 Legal Description \_\_\_\_\_  
 Lot \_\_\_\_\_  
 Blk \_\_\_\_\_  
 Add'n \_\_\_\_\_  
 Value \_\_\_\_\_  
 Type Const. \_\_\_\_\_

SLAB:  
 By SUSSEL  
 By Owner Approx. \_\_\_\_\_  
 In \_\_\_\_\_  
 2-STARTING POINTS ONLY  
 S.P.L. 3  
 S.S.P.L. \_\_\_\_\_  
 R.P.L. 8  
 Alley \_\_\_\_\_  
 House \_\_\_\_\_  
 F. Street \_\_\_\_\_  
 Other \_\_\_\_\_

Square With House  
 Sod Rem. - By \_\_\_\_\_  
 A.B.U. \_\_\_\_\_  
 Grade Point  
 Conduit \_\_\_\_\_

Blocks:  By Owner  By Susel  
 Wtr.proof:  By Own.  By Sus.  
 Backfill:  By Own.  By Susel  
 Maintain 8' Total Wall Height  
 Including Blocks OR  
 Maintain 8' Wall Height on  
 Top of Blocks:

Block Size (Top course)  
 8"  6"  4"

Wall Height other than 8'  $\frac{1}{2}$

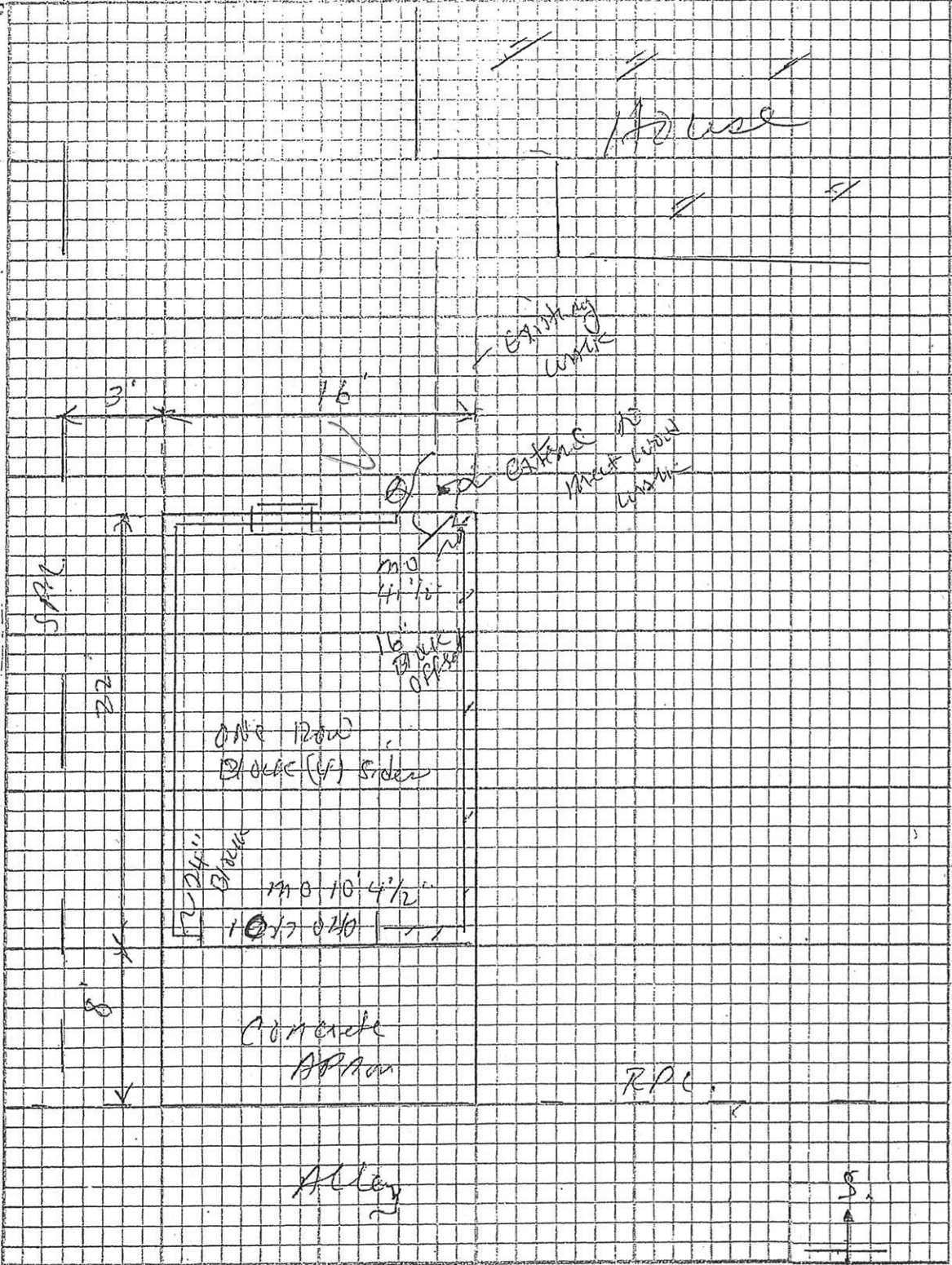
Trace Face  
 Block

Existing garage: No   
 Detached  Attached Yes  
 Size of existing: \_\_\_\_\_ x \_\_\_\_\_  
 Existing garage will be:  
 Left as is  
 Converted to L.S. - By owner  
 Removed By: Owner   
 Susel

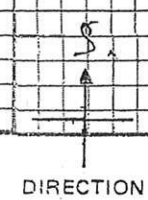
Junk Must Be Removed By Owner

Stakes visible -  Yes  No  
 Survey available -  Yes  No  
 Special instructions from  
 Cement Man \_\_\_\_\_

Cross Street  
Road



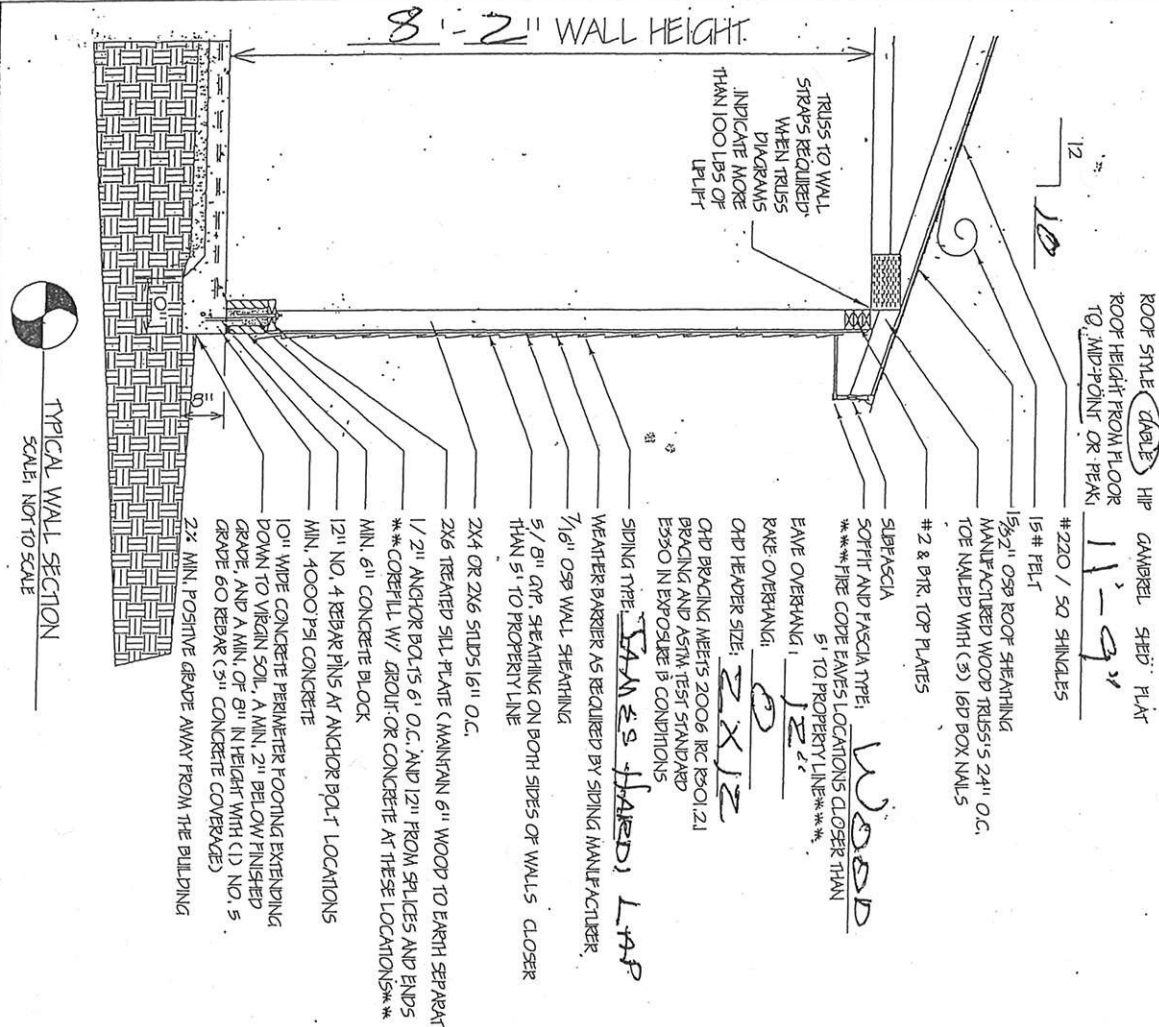
ACCESS  
 Good  Fair  Poor





EXCAVATION IS COMPLETE TO ACCOMMODATE 6" WOOD TO EARTH SEPARATION. UP TO THREE COARSE OF 6" CONCRETE BLOCK MAY BE INSTALLED WITH A MAXIMUM OF 18" OF UNBALANCED BACKFILL AND 6" O.C. ANCHOR BOLTS / CORE FILL LOCATIONS. DAMPROOFING TO BE APPLIED TO BLOCK BELOW GRADE. FOR FOUR OR MORE COARSE OF CONCRETE BLOCK WILL FOLLOW CURRENT IBC GUIDELINES FOR 8" CONCRETE BLOCK AND CORE FILL LOCATIONS.

8" HIGH AND 10" WIDE CONCRETE PERIMETER FOOTING IS DESIGNED FOR UNIFORM LOADING BASED ON AN ASSUMED #1500 PSF MIN SOIL CAPACITY AND A MAXIMUM #100 PLF OF ROOF LOADING. POINT LOADS MUST BE DESIGNED SEPARATELY. ONE #5 GRADE 60 STEEL REBAR MUST BE LAID HORIZONTALLY IN THE PERIMETER FOOTING WITH 3" OF CONCRETE COVERAGE FROM THE SIDES AND BOTTOM OF THE FOOTING.

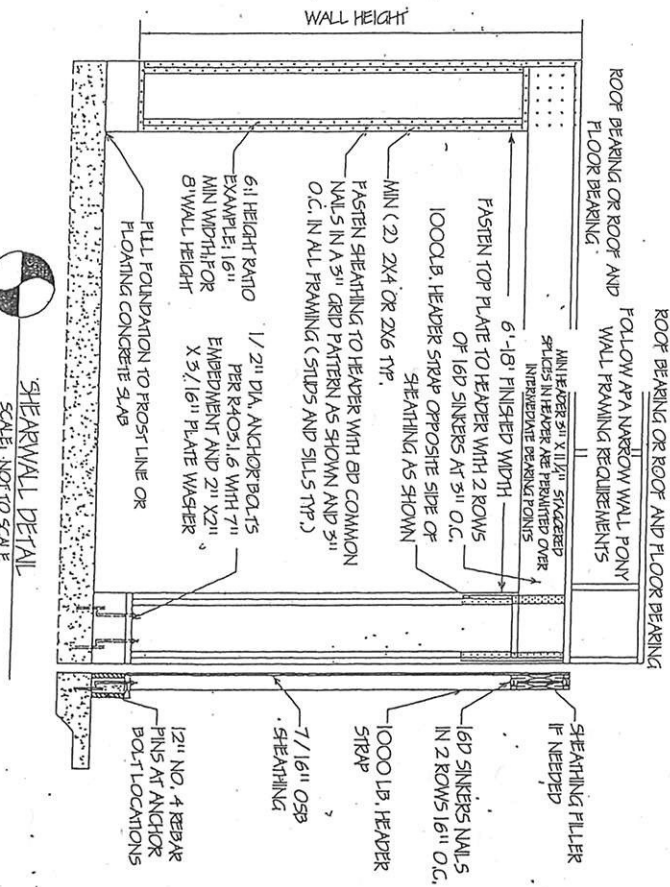


TYPICAL WALL SECTION  
SCALE: NOT TO SCALE



THESE DETAILS HAVE BEEN REVIEWED AND APPROVED BY:  
John F. Gislason, Jr. P.E.  
6/23/10

THESE DETAILS REMAIN THE EXCLUSIVE CONFIDENTIAL PROPERTY OF SUSSEL BUILDERS, AND MAY BE USED BY OTHERS ONLY FOR THE PURPOSE SPECIFICALLY AUTHORIZED BY SUSSEL. ANY UNAUTHORIZED COPYING OR REPRODUCTIONS OF ANY PORTION IS FORBIDDEN.



SHEARWALL DETAIL  
SCALE: NOT TO SCALE

**SUSSEL BUILDERS**  
OFFICE 651.645.0331 FAX 651.645.0331  
654 TRANSFER ROAD 16B ST. PAUL, MN 55114

NOTE: WRITTEN DIMENSIONS ON THESE PLANS SHALL HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS. SUSSEL CORPORATION MUST BE NOTIFIED OF ANY VARIATIONS FROM THESE DIMENSIONS AND CONDITIONS OF THE ABOVE DRAWING.

DATE 6-18-2011  
SHEEF 1 OF 1  
DRAWN BY JOHN W.

**SUSSEL GARAGE**

Job Name:

Truss ID: 16CT

Qty: 10

Drwg:

BRG	X-LOC	REACT	SIZE	REQ'D
1	0-2-12	996	5.50"	1.56"
2	15-9-4	996	5.50"	1.56"

BRG REQUIREMENTS shown are based ONLY on the truss material at each bearing

TC 2x4 SPF #1/#2-CAN  
 BC 2x4 SPF #1/#2-CAN  
 WEB 2x3 SPF STUD-CAN

This design does not account for long term time dependent loading (creep). Building Designer must account for this.

THIS DESIGN IS THE COMPOSITE RESULT OF MULTIPLE LOAD CASES.  
 Loaded for 10 PSF non-concurrent BULL. 20 psf bottom chord live load NOT required on this truss, per IRC/IBC requirements for attics with limited storage.

Designed per ANSI/TPI 1-2002  
 Plating is based on quality control factors  
 Cg = 1.25 for wide face and  
 Cg = 1.25 for narrow face.  
 Any alterations to this are shown for individual joints on the joint report.  
 Refer to Joint QC Detail Sheet for Maximum Rotational Tolerance used  
 IRC/IBC truss plate values are based on testing and approval as required by IRC 1703 and ANSI/TPI and are reported in available documents as ER-1607 and ESR-1118.

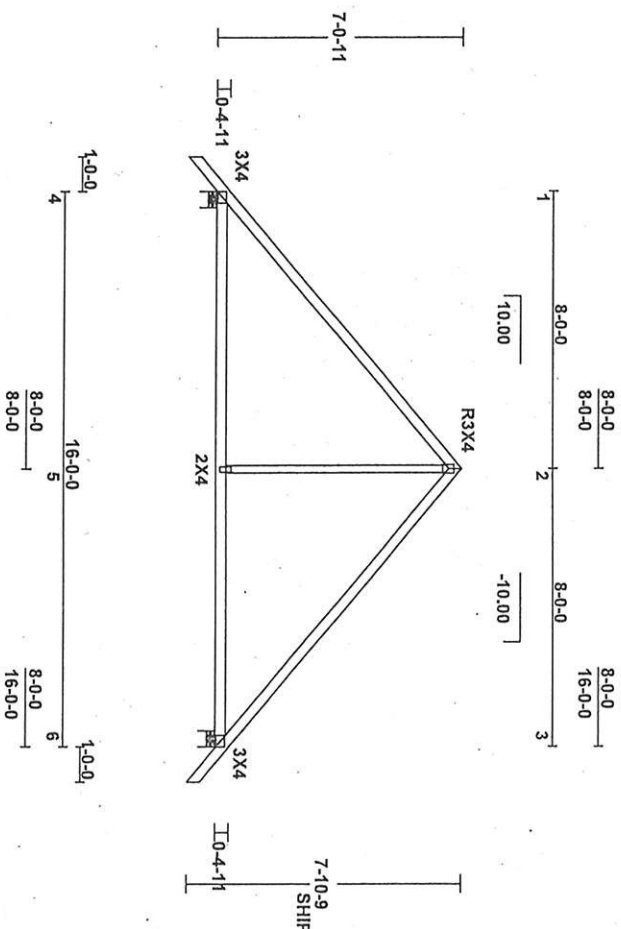
UPRIFT REACTION(S) : Non-Wind  
 Support Main Wind  
 1 84 lb  
 2 -84 lb

HORIZONTAL REACTION(S) :  
 support 1 -159 lb  
 support 2 159 lb

This truss is designed using the ASCE7-05 Wind Specification  
 Bldg Enclosed = Yes, Importance Factor = 1.00  
 Truss Location = Not End Zone  
 Hurricane/Ocean Line = No, Exp Category = B  
 Bldg length = 99.99 ft, Bldg Width = 50.00 ft  
 Mean roof height = 23.53 ft, mph = 90  
 ASCE7 II Standard Occupancy, Dead Load = 10.2 psf  
 Designed as Main Wind Force Resisting System  
 - Low-rise and Components and Cladding  
 Tributary Area = 32 sqft

MAX DEFLECTION (span) : LG 1  
 L/50 PER 2-3 (L/125) I= -0.43"  
 L= -0.34" D= -0.09" I= -0.43"

Joint Locations	1	2	3	4	5	6
0-0-0	0	0	0	0	0	0
8-0-0	0	0	0	0	0	0
16-0-0	0	0	0	0	0	0



All connector plates are Truswal 20 ga. unless preceded by "W" for Wave 20 ga., "HS" for HS 20 ga., "S" for SS 18 ga. from Alpine; or preceded by "WMX" for TWMMX 20 ga. or "H" for 16 ga. from Truswal, positioned per Joint Detail Reports available from Truswal software, unless noted.

**WARNING** Read all notes on this sheet and give a copy of it to the Erecting Contractor.

This design is for an individual building component not truss system. It has been based on specifications provided by the component manufacturer and done in accordance with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer must ascertain that the loads utilized on this design meet or exceed the loading imposed by the local building code and the particular application. The design assumes that the top chord is laterally braced by the roof or floor sheathing and the bottom chord is laterally braced by a rigid sheathing material directly attached, unless otherwise noted. Bracing shown is for lateral support of components members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood to exceed 19% and/or cause connector plate corrosion. Fabricate, handle, install and brace this truss in accordance with the following standards: Joint and Cutting Detail Reports available as output from Truswal software, ANSITPI 1, WTCA 1 - Wood Truss Council of America Standard Design Responsibilities, BUILDING COMPONENT SAFETY INFORMATION - (BCSI) and BCSI SUMMARY SHEETS for WTCA and TPI, The Truss Plate Institute (TPI) is located at 218 N. Lee Street Suite 312, Alexandria, VA 22314. The American Forest and Paper Association (AFPA) is located at 1111 19th Street, NW, Ste 800, Washington, DC 20036.



2926 Lome Oak Circle, St. Paul, MN 55121  
 PH: 651-454-3610 FAX: 651-454-4765

4/15/2009

Scale: 3/16" = 1'

Weight	66	WORK ORDER:	Q601390
Chk:		CUST:	
Dsgnr:		DUE DATE:	04/15/09
TC Live	35.00 psf	DuFacs L=1.15 P=1.15	
TC Dead	7.00 psf	Defl. Ratio: 240	
BC Live	0.00 psf	O.C.Spacing 2-0-0	
BC Dead	10.00 psf	Design Spec IRC-2006	
TOTAL	52.00 psf	Segn T6.5-8TM-	2753

6541 Transfer Rd 16B  
Saint Paul, MN 55114  
Bus: (651) 645-0331 Ext. 109  
Fax: (651) 645-8371  
leeslagter@susselbuilders.com  
www.susselbuilders.com



Saint Paul Heritage Preservation Commission  
C/o Office of License, Inspections and Environmental Protection  
350 Saint Peter Street, Suite 300  
Saint Paul, MN 55102  
Phone: (651) 266-9078

"Just Remember Sussel"  
Lee Slagter  
Project Coordinator  
Established 1915  
MN Lic. 1934

## HERITAGE PRESERVATION COMMISSION DESIGN REVIEW APPLICATION

ation must be completed in addition to the appropriate city permit application if the affected an individually designated landmark or located within an historic district. For applications that viewed by the Heritage Preservation Commission refer to the HPC Meeting schedule for meeting deadlines.

### 1. PERMIT CATEGORY

Please check the category that best describes the proposed work

<input type="checkbox"/> Repair/Rehabilitation	<input type="checkbox"/> Sign/Awning	<input checked="" type="checkbox"/> New Construction/Addition
<input type="checkbox"/> Moving	<input type="checkbox"/> Fence/Retaining Wall	<input type="checkbox"/> Concept Review Only
<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Other _____	

### 2. PROJECT ADDRESS

Street and number: 539 HOLLY AVE Zip Code: 55102

### 3. APPLICANT INFORMATION

Name of contact person: LEE SLAGTER  
Company: SUSSEL CORP  
Street and number: 654 TRANSFER RD  
City: ST PAUL State: MN Zip Code: 55114  
Phone number: (651) 645 0331 e-mail: LEESLAGTER@SUSSELBUILDERS.COM

### 4. PROPERTY OWNER(S) INFORMATION (If different from applicant)

Name: ROBERT W. PARSONS  
Street and number: 539 HOLLY AVE  
City: ST PAUL State: MN Zip Code: 55102  
Phone number: (651) 227-0908 e-mail: \_\_\_\_\_

**5. PROJECT ARCHITECT (If applicable)**

Contact person: \_\_\_\_\_  
Company: \_\_\_\_\_  
Street and number: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone number: ( ) \_\_\_\_\_ e-mail: \_\_\_\_\_

**6. PROJECT DESCRIPTION**

Completely describe ALL exterior changes being proposed for the property. Include changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.

NEW DETACHED GARAGE  
- ROCK FACE BLOCK  
- HARDI SIDING / CORNER POSTS  
- 3 TAB SHINGLE TO MATCH HOUSE  
- WOOD SOFFIT AND FASCIA  
- ALUM CLAD WINDOW

*Attach additional sheets if necessary*

**7. ATTACHMENTS**

Refer to the *Design Review Process & Checklist* for required information or attachments.  
**\*\*INCOMPLETE APPLICATIONS WILL BE RETURNED\*\***

**ARE THE NECESSARY ATTACHMENTS AND INFORMATION INCLUDED?**

YES

Will any federal money be used in this project? YES \_\_\_\_\_ NO   X    
Are you applying for the Investment Tax Credits? YES \_\_\_\_\_ NO   X



I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant: Joe Slighter Date: \_\_\_\_\_  
Signature of owner: \_\_\_\_\_ Date: \_\_\_\_\_

**FOR HPC OFFICE USE ONLY**

Date received: 6/3/11 FILE NO. 11-239565  
District: H11 / Individual Site: \_\_\_\_\_  
Contributing/Non-contributing/Pivotal/Supportive/:  
Type of work: Minor/Moderate/Major New Construction

\_\_\_\_ Requires staff review

Supporting data: YES NO  
Complete application: YES NO

The following condition(s) must be met in order for application to conform to preservation program:

see doA

It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch. 73.06).

CP-1  
HPC staff approval

Date 6-15-11

\_\_\_\_ Requires Commission review

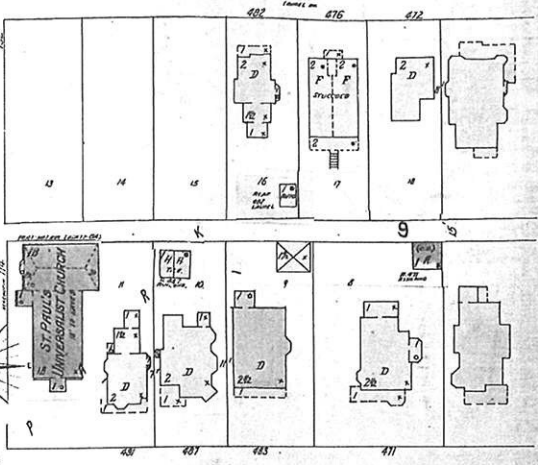
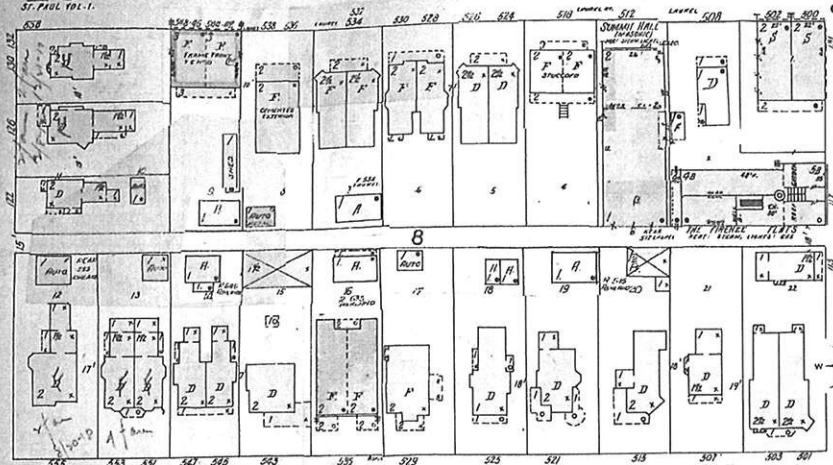
- Submitted:
- 3 Sets of Plans
  - 1 Set of Plans reduced to 8 1/2" by 11"
  - Photographs
  - City Permit Application
  - Complete HPC Design Review application

Hearing Date set for: \_\_\_\_\_

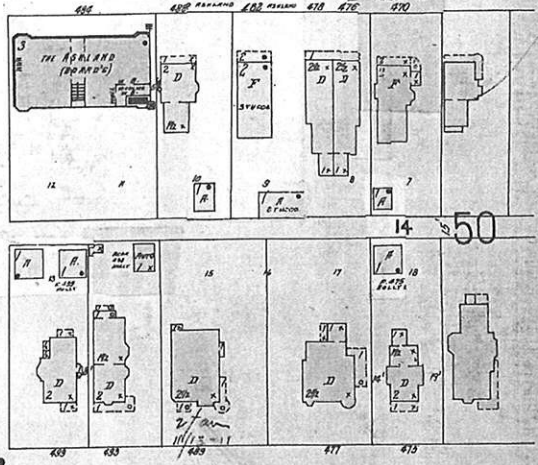
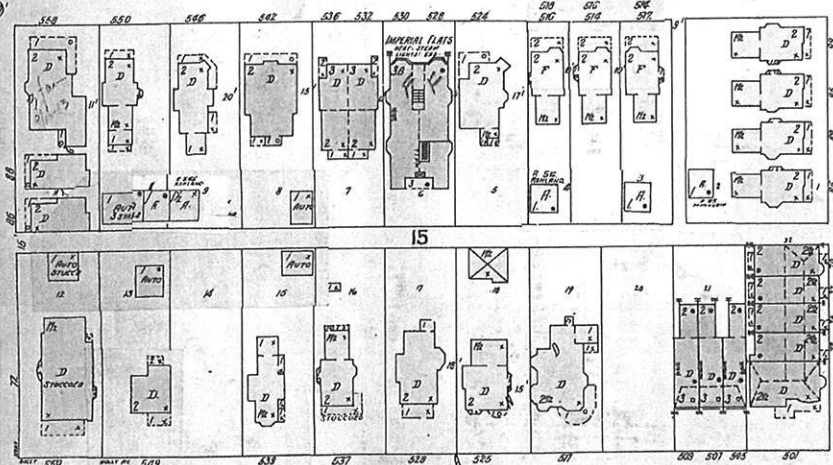
~~#PC #~~

Building Permit: 11-150186

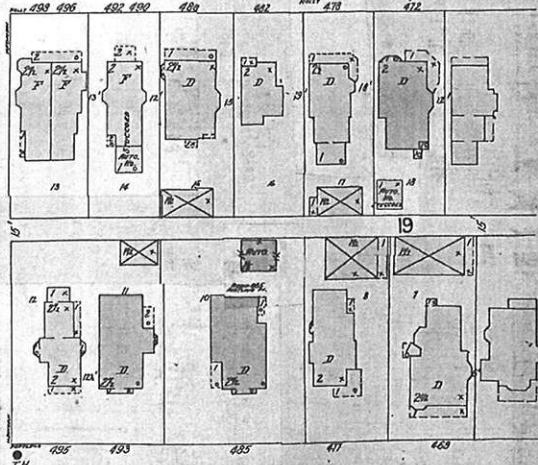
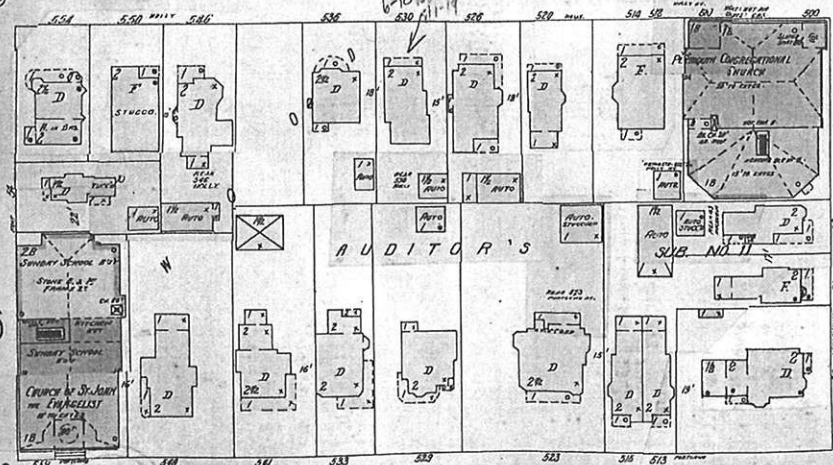
LAUREL AV.



ASHLAND AV.



HOLLY AV.



PORTLAND AV.

Scale of Feet. 0 50 100 150



