

**CITY OF SAINT PAUL  
HERITAGE PRESERVATION COMMISSION STAFF REPORT**

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FILE NAME: 737 Plum Street

DATE OF APPLICATION: September 17, 2015

APPLICANT: Saint Paul Housing and Redevelopment Authority (HRA)

OWNER: HRA

DATE OF PUBLIC HEARING: October 22, 2015

HPC SITE/DISTRICT: Dayton's Bluff Heritage Preservation District

CATEGORY: Contributing

CLASSIFICATION: Demolition Permit

STAFF INVESTIGATION AND REPORT: Christine Boulware

DATE: October 7, 2015

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**A. SITE DESCRIPTION:** The Gotthielf Christoff House, at 737 Plum Street, is a one-and-one half story cottage with an L-shaped plan and Italianate proportions constructed in 1882. The home sits on a coursed limestone foundation and features a front-side porch built into the L of the house. Fenestration is currently single-light, one-over-one double hung on all sides, but a 1989 slide shows taller windows on the front elevation with two-over-two sash. The west side elevation features a projecting bay window. The roof is comprised of two intersecting gables, and the exterior walls are cement shingle over clapboard. A large rear addition was constructed sometime after 1950 has low gables and deep, overhanging eaves. A non-contributing garage is sited at the northwest corner of the lot. The property is categorized as contributing.

**B. PROPERTY HISTORY AND CONTEXT:** The construction of the Gotthielf Christoff House pre-dates building permits. The 1989 Historic Property Inventory identifies the construction date of 1882 as recorded in a December 31, 1882 article in the *Saint Paul Daily Globe*. The original owner of the home, Gotthielf Christoff, died at the home on May 2, 1888. A "pioneer resident of St. Paul and Minnesota" that had lived in Saint Paul for some forty years, Mrs. Henrietta A. Meehl was 73 years old when she passed away in the home at 7:35 p.m. on January 29, 1902.

No other records are available for the property until 1889 with a \$100 alteration, then in 1929, when a building permit for work totaling \$1,500 was taken out on July 24 by the owner, Mrs. Blasing and contracted by a Mr. Walter Hauson. The next permit identified the owner of the property as Mr. Herb Schoenenker who reroofed the house in September of 1936. The last historical alteration recorded at the home was an electrical permit for work totaling \$55 in July of 1947.

The 1903-1925 Sanborn Fire Insurance Map show the footprint of the property prior to the post-1950s rear addition. The map also shows a 1 1/2-story "stable" with two, one-story wings (razed) directly behind the residence.

**C. PROPOSED CHANGES:** The applicant proposes to raze the residence; there are no current plans for new construction. The lot would be graded and seeded.

**D. TIMELINE:**

- July 23, 1992 - the Dayton's Bluff Heritage Preservation District was designated by the City Council for Heritage Preservation and established under Ordinance No. 17942 (Council File #92-900)
- April 12, 2010 - the property became a Category 2 vacant building
- February 16, 2010 - the HRA purchased the property for \$29,500 with NSP funds

- April 12, 2010 - the property became a Category 2 Vacant Building
- March 13, 2012 - Certificate of Code Compliance is issued.
- July 19, 2012 – HPC staff met with a developer on-site to discuss rehabilitation of the property.
- July-October 2012 – preliminary plans and scope-of-work were prepared, but ultimately did not move forward. The proposal had total development cost of \$470,500, with a projected sale of the renovated house at \$165,500. The subsidy request was for \$305,000 and \$0 for the land.
- \$29,500 HRA investment.
- Inspiring Communities RFPs were released on October 15, 2013 and November 3, 2014 and no proposals were received.
- September 15, 2015 – The HRA applied to the HPC for demolition of the property.

#### **E. GUIDELINE CITATIONS:**

##### **Dayton's Bluff Historic District Guidelines**

##### **Leg. Code § 74.87. General principles.**

*(1) All work should be of a character and quality that maintains the distinguishing features of the building and the environment. The removal or alteration of distinctive architectural features should be avoided as should alterations that have no historical basis and which seek to create an earlier appearance. The restoration of altered original features, if documentable, is encouraged.*

*(2) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.*

*(3) Deteriorated architectural features should be repaired rather than replaced whenever possible. In the event of replacement, new materials should match the original in composition, design (including consideration of proportion, texture and detail), color and overall appearance.*

*(4) New additions or alterations to structures should be constructed in such a manner that if such additions or alterations were to be removed in the future, the form and integrity of the original structure would be unimpaired.*

*(5) The impact of alterations or additions on individual buildings as well as on the surrounding streetscape will be considered; major alterations to buildings which occupy a corner lot or are otherwise prominently sited should be avoided.*

*(6) New construction should be compatible with the historic and architectural character of the district.*

##### **§ 74.90. – New construction and additions.**

- (j) Demolition. Demolition permits will be reviewed on a case-by-case basis and will be determined by the category of building (pivotal, contributing and noncontributing) and its importance to the district, the structural condition of the building and the economic viability of the structure.*

##### **§ 73.06(i)(2): Demolition**

*When reviewing proposals for demolition of structures within the district, the Heritage Preservation Commission refers to § 73.06 (i)(2) of the Saint Paul Legislative Code which states the following:*

*In the case of the proposed demolition of a building, prior to approval of said demolition, the commission shall make written findings on the following: the architectural and historical merit*

*of the building, the effect of the demolition on surrounding buildings, the effect of any proposed new construction on the remainder of the building (in case of partial demolition) and on surrounding buildings, and the economic value or usefulness of the building as it now exists or if altered or modified in comparison with the value or usefulness of any proposed structures designated to replace the present building or buildings.*

## **SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION**

### **District/Neighborhood**

#### **Recommended:**

- Identifying, retaining, and preserving buildings, and streetscape, and landscape features which are important in defining the overall historic character of the district or neighborhood. Such features can include streets, alleys, paving, walkways, street lights, signs, benches, parks and gardens, and trees.*
- Retaining the historic relationship between buildings, and streetscape and landscape features such as a town square comprised of row houses and stores surrounding a communal park or open space.*
- Protecting and maintaining the historic masonry, wood, and architectural metals which comprise building and streetscape features, through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems; and protecting and maintaining landscape features, including plant material.*
- Repairing features of the building, streetscape, or landscape by reinforcing the historic materials. Repair will also generally include the replacement in kind - or with a compatible substitute material - of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balustrades, paving materials, or streetlight standards.*
- Replacing in kind an entire feature of the building, streetscape, or landscape that is too deteriorated to repair - when the overall form and detailing are still evident - using the physical evidence to guide the new work. This could include a storefront, a walkway, or a garden. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.*

#### **Alterations/Additions for the New Use**

- Designing required new parking so that it is as unobtrusive as possible, i.e., on side streets or at the rear of buildings. "Shared" parking should also be planned so that several businesses' can utilize one parking area as opposed to introducing random, multiple lots.*
- Designing and constructing new additions to historic buildings when required by the new use. New work should be compatible with the historic character of the district or neighborhood in terms of size, scale, design, material, color, and texture.*
- Removing non-significant buildings, additions, or streetscape and landscape features which detract from the historic character of the district or the neighborhood.*

#### **Not Recommended:**

- Removing or radically changing those features of the district or neighborhood which are important in defining the overall historic character so that, as a result, the character is diminished.*
- Removing or relocating historic buildings, or features of the streetscape and landscape, thus destroying the historic relationship between buildings, features and open space.*
- Failing to undertake adequate measures to assure the preservation of building, streetscape, and landscape features.*

*-Removing a feature of the building, streetscape, or landscape that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance.*

**Design for Missing Historic Features**

*-Introducing a new building, streetscape or landscape feature that is out of scale or otherwise inappropriate to the setting's historic character, e.g., replacing picket fencing with chain link fencing*

**Alterations/Additions for the New Use**

*-Placing parking facilities directly adjacent to historic buildings which cause the removal of historic plantings, relocation of paths and walkways, or blocking of alleys.*

*-Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the district or neighborhood.*

*-Removing a historic building, building feature, or landscape or streetscape feature that is important in defining the overall historic character of the district or the neighborhood.*

**F. FINDINGS:**

1. On July 23, 1992, the Dayton's Bluff Heritage Preservation District was established under Ordinance No. 17942 (Council File #92-900). The Heritage Preservation Commission shall protect the architectural character of heritage preservation sites through review and approval or denial of applications for city permits for demolition within designated heritage preservation sites **§73.04.(4)**.
2. **The category of the building.** The Gotthielf Christoff House, at 737 Plum Street, is categorized as contributing to the Dayton's Bluff Heritage Preservation District.
3. **Leg. Code § 74.90.(j)** - The Preservation Program for the Dayton's Bluff Heritage Preservation District states that consideration of demolitions will be determined by the category of building (pivotal, contributing and non-contributing), its importance to the district, the structural condition of the building and the economic viability of the structure.
4. **The importance of the building to the district.** The building's integrity has been compromised; however, it is categorized as contributing to the district's architectural and historical character. The building is important to the district and in a rehabilitated state would enhance the character of the district.

The Gotthielf Christoff House was constructed in 1882 with additional building permits issued in 1889, 1929, and 1936, both during and just after the Period of Significance for the Dayton's Bluff Heritage Preservation District (1857-1930).

The Dayton's Bluff Historic District Handbook states the following:

*In the 1880s, and particularly during the peak years 1882-1884, Dayton's Bluff became a densely-built urban neighborhood. The construction of a series of bridges and the extension of streetcar service brought a new and diverse population to the bluff. Factory and railroad workers purchased small lots and erected a great variety of single and multiple-family houses. The newly-arrived settlers included recent immigrants from Sweden, Ireland, and Germany, but German-Americans were the predominant group. They joined a large contingent of well-established German-American business owners...*

The residential context of this structure is good, as it is on the block of Plum Street which retains many of its buildings constructed during the Period of Significance. Comparing the Sanborn Map to current aerial images, four residences were constructed or moved to the block after 1925 and the commercial building at 200-202 Bates (at Plum) was demolished.

Staff did not find any historical associations, other than Gotthielf Christoff and Henrietta A. Meehl, that have contributed in some way to Saint Paul's history and development or an



architect or association with an important event, with this property. The 1989 Dayton's Bluff inventory form did not identify other individuals.

The 1903-25 Sanborn Fire Insurance Map for this site indicates the footprint of the building, has been altered since 1925 with the rear portion of the residence being consumed by a later addition. Removal of this building would be the second principle structure removed on the block since 1925 (200-202 Bates Avenue). The map shows that the building was used as a single-family dwelling through 1925. There were four other buildings constructed or moved on this block around or after the Period of Significance. There is no alley and the grade rises steeply to the north and east is retained by limestone, concrete block and timber retaining walls along the east and north property lines.

HPC staff considers the architectural integrity to be fair; the cement shingles and wrap would need to be removed for staff to accurately assess the presence and condition of historic fabric and detailing.

5. **Structural condition of the building.** The current structural condition of the building is considered poor but the recent report did not note any imminent structural danger. The building has been classified as vacant since April of 2010 and the lack of maintenance and mothballing/stabilization is evident.

A Code Compliance Report was issued to the HRA on March 13, 2012. Some of the items noted in the report include: repair/replacement of deteriorated window sash and broken glass, complete storms and screens at all door and window openings, prepare and paint interior and exterior as necessary, repair siding, soffit, fascia, and trim as necessary, install gutters and downspouts, repair the garage and fences.

HPC staff conducted a site visit on October 1, 2015. Most of the original/early architectural or decorative features of the interior have been removed with the exception of the living room window, door and baseboards. The interior of the rear addition does not retain any visible historic details. Some original and early, double-hung windows are intact, along with the living interior casings and mouldings. The exterior features of the house have been covered with cement shingles and aluminum wrap. Staff observed general deferred maintenance. Staff cannot assess the condition of the original exterior materials given that they are not visible.

On September 14, 2015, structural engineering firm, Mattson Macdonald Young, submitted a report to the HRA that summarized the observed conditions of the property. The report notes the front porch post is easily moved and may no longer support the load of the porch roof; the chimney may need repair; water damage was observed in the second floor ceiling; some floors are slightly uneven, and there are rotted joist in the basement; the foundation appears functional and relatively free of cracks, the exterior roof and walls appear to be in good condition, The report summarized that 700 Fourth Street East is in generally poor condition based on visually observed conditions. The report summarized that repairs are possible, but would likely be relatively costly.

6. **The economic viability of the structure.** One preliminary proposal for rehabilitation was received in 2012. The proposal did not progress to beyond preliminary plans and scope-of-work. PED staff indicated that the developer requested the land cost written down to \$0 and a subsidy of \$305,000 with the total development cost at \$470,500 and a projected sale price of \$165,500.

The HRA estimates the demolition costs to be \$16,000. Staff did not receive a cost estimate to rehabilitate the residence. The HRA purchased the property on February 16, 2010 for \$29,500 with NSP funds. In 2014, Ramsey County estimated the 2015 land value at \$15,900 and the building value at \$18,400. In 2015, Ramsey County estimated the 2016 land value at \$10,800 and the building value at \$59,900. The 2154 square foot property is sited on the north side of

Plum Street between Bates and Maple and the parcel size is 50 ft. wide by 150 ft. deep (.17 acres).

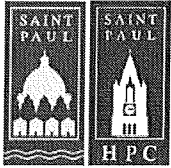
The property is currently zoned RTI. The previous use was a duplex, but the property has been vacant for over one year and would need to be rehabilitated as a single family home.

7. The Secretary of the Interior's Standards for Rehabilitation recommend against removing buildings that are important in defining the overall historic character of the district or the neighborhood. Given the contributing categorization, even with fair-to-poor architectural integrity, and good context, HPC staff finds that the building reinforces the District's architectural and historic character. The Standards also recommend against destroying historic relationships between buildings and open space. The demolition of the building would have a significant impact on the relationship of residential buildings along Plum Street.
8. The Dayton's Bluff Heritage Preservation District Design Guidelines, General Principle (1) states all work should be of a character and quality that maintains the distinguishing features of the building and the environment. The removal or alteration of distinctive architectural features should be avoided..." The proposal to demolish this property does not comply with the guidelines as loss of the property would result in the loss of historic character.
9. This property is in the anticipated Area of Potential Effect for the Gold Line BRT and will be evaluated for National Register Eligibility. Proceeding evaluation, determined effects will be evaluated for impacts with potential mitigation.
10. HPC staff finds that the proposed demolition of the Gotthielf Christoff House at 737 Plum Street may adversely affect the Program for the Preservation and architectural control of the Dayton's Bluff Heritage Preservation District (Leg. Code §73.06 (e)) for reasons outlined in the findings which include: contributing classification, fair condition, fair integrity, and the need to carefully review and understand cost estimates that would comply with the Dayton's Bluff Design Review Guidelines (Leg. Code § 74.87-74.90) and close the financial gap. A vacant lot would have a negative impact on the Dayton's Bluff Heritage Preservation District and the loss of historic fabric is irreversible.

**G. STAFF RECOMMENDATIONS:** Based on the findings, staff recommends denial of the demolition permit application.

#### **H. ATTACHMENTS**

1. HPC Design Review Application
2. Applicant Submittals:
  - a. Structural Report and Photographs
  - b. Exterior Photographs
3. March 13, 2012 Code Compliance Report
4. 2012 Rehabilitation proposal from Marpe Construction
5. 2015 Photographs
6. Aerial Photographs
7. 1903-25 Sanborn Fire Insurance Map



Saint Paul Heritage Preservation Commission  
Department of Planning and Economic Development  
25 Fourth Street West, Suite 1400  
Saint Paul, MN 55102  
Phone: (651) 266-9078  
ApplyHPC@stpaul.gov

## HERITAGE PRESERVATION COMMISSION DESIGN REVIEW APPLICATION

*This application must be completed in addition to the appropriate city permit application if the affected property is an individually designated landmark or located within an historic district. For applications that must be reviewed by the Heritage Preservation Commission refer to the HPC Meeting schedule for meeting dates and deadlines.*

### 1. CATEGORY

Please check the category that best describes the proposed work

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Repair/Rehabilitation | <input type="checkbox"/> Sign/Awning          | <input type="checkbox"/> New Construction/Addition/  |
| <input type="checkbox"/> Moving                | <input type="checkbox"/> Fence/Retaining Wall | Alteration   |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Other _____          | <input type="checkbox"/> Pre-Application Review Only |

### 2. PROJECT ADDRESS

Street and number: 737 Plum Street Zip Code: 55106

### 3. APPLICANT INFORMATION

Name of contact person: Joe Musolf

Company: Housing and Redevelopment Authority of the City of Saint Paul

Street and number: 25 West Fourth Street, Ste. 1100

City: Saint Paul State: MN Zip Code: 55102

Phone number: (651) 266-6594 e-mail: joe.musolf@ci.stpaul.mn.us

### 4. PROPERTY OWNER(S) INFORMATION (If different from applicant)

Name: \_\_\_\_\_

Street and number: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone number: \_\_\_\_\_ e-mail: \_\_\_\_\_

### 5. PROJECT ARCHITECT (If applicable)

Contact person: \_\_\_\_\_

Company: \_\_\_\_\_

Street and number: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone number: \_\_\_\_\_ e-mail: \_\_\_\_\_

## 6. PROJECT DESCRIPTION

Completely describe ALL exterior changes being proposed for the property. Include changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.

Demolition of 737 Plum Street

*Attach additional sheets if necessary*

## 7. ATTACHMENTS

Please list any attachments that are included in this application. Refer to the Design Review Application Process Checklist for required information or attachments.

Attachment A: Structural Report and Photographs

Attachment B: Exterior Photographs

*Attach the above listed to this application or attach in an email to [ApplyHPC@stpaul.gov](mailto:ApplyHPC@stpaul.gov)*

Will any federal money be used in this project?

YES



NO



Are you applying for the Investment Tax Credits?

YES



NO



I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of owner: \_\_\_\_\_

Date: 9.9.15

Send completed application with the necessary attachments to [ApplyHPC@stpaul.gov](mailto:ApplyHPC@stpaul.gov) or to:

Saint Paul Heritage Preservation Commission  
Department of Planning and Economic Development  
25 Fourth Street West, Suite 1400  
Saint Paul, MN 55102

## FOR HPC OFFICE USE ONLY

Date received: \_\_\_\_\_

FILE NO. \_\_\_\_\_

Date complete: \_\_\_\_\_

District: \_\_\_\_\_/Individual Site: \_\_\_\_\_

Pivotal/Contributing/Non-contributing/New Construction/Parcel

### ☐ Requires staff review

Supporting data: **YES** **NO**

Complete application: **YES** **NO**

The following condition(s) must be met in order for application to conform to preservation program:

**It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch.73.06).**

\_\_\_\_\_  
HPC staff approval

Date \_\_\_\_\_

### ☐ Requires Commission review

Submitted:

- ☐ 3 Sets of Plans
- ☐ 15 Sets of Plans reduced to 8 ½" by 11" or 11" by 17"
- ☐ Photographs
- ☐ CD of Plans (pdf) & Photos (jpg)
- ☐ City Permit Application
- ☐ Complete HPC Design Review application

Hearing Date set for: \_\_\_\_\_

City Permit # \_\_\_\_\_ - \_\_\_\_\_

### HPC Staff Notes



**CITY OF SAINT PAUL**  
*Christopher B. Coleman, Mayor*

*25 West Fourth Street  
Saint Paul, MN 55102*

*Telephone: 651-266-6655  
Facsimile: 651-228-3261*

Saint Paul Heritage Preservation Commission  
Department of Planning and Economic Development  
25 Fourth Street West, Suite 1400  
Saint Paul, MN 55102

RE: 737 Plum Avenue Request for Demolition

September 17, 2015

Dear Heritage Preservation Commissioners,

The Housing and Redevelopment Authority of the City of Saint Paul (HRA) requests approval for the demolition of 737 Plum Avenue, which is located within the Dayton's Bluff Heritage Preservation District.

The HRA has evaluated the structural integrity of the property as well as gauged the interest on the part of developers in rehabilitating the structure. An evaluation of the structural condition, which includes photographs of structural conditions and supports demolition, is attached to this application.

Economic considerations accounted for the cost of rehabilitation, market conditions and the lack of return on investment, all of which make public subsidy of this project impractical. A Previously received developer proposal indicated that the total development cost could be as high as \$447,000, resulting in a subsidy requirement of \$307,000.

Use as a single family residential structure was the only use explored; no adaptive re-use options were evaluated.

Respectfully,

A handwritten signature in black ink, appearing to read "Joe Musolf", written over a horizontal line.

Joe Musolf  
Principal Project Manager

Attachments:

Attachment A: Structural Report and Photographs

Attachment B: Exterior Photographs



**Mattson  
Macdonald  
Young**  
structural  
engineers

Bassett Creek Business Center  
901 North 3rd Street, #100  
Minneapolis, MN 55401

612-827-7825 voice  
612-827-0805 fax

14 September 2015

Sarah Zorn  
Planning and Economic Development  
25 West Fourth Street, Ste. 1100  
St. Paul, MN 55102

Project No.: 15537.00  
Re: Structural Condition Review of the building at 737 Plum St.

Dear Sarah:

We visited the existing house at 737 Plum St. on Tuesday, August 25<sup>th</sup>, 2015. The purpose of our visit was to form an opinion of the building condition and to identify any areas of damage, deterioration, or deficiency and to assist the owner in planning the future of the house. The following is a summary of our observations and opinions:

### **Scope**

This report concerns only the structural frame and elements that are an integral part of the load resisting system for the building. We did not observe and report on the building electrical systems, mechanical systems, fire protection, egress, and life safety compliance with the building code.

Our review concerned the basement level and the foundation walls that could be observed directly within that space, any visible roof systems, any visible wall structures, and any visible beams or joists. Observations that were performed are considered a cursory "walk-through" of the building. The performance of the structural system and framing elements was judged by visual observation only. This work should not be considered a detailed investigation of the building or of specific elements of the building framing system. During our walk through no finishes were removed to expose structural systems.

Calculations were not performed on the total building system nor were the apparent load capacities of the floor or roof determined as a part of this report.

### **Qualifications of the Personnel**

Joe Cain P.E. is the author of this report, the lead investigator, and the Structural Engineer of Record (SER). Joe has 30 years of experience in the field of structural engineering and has performed condition reviews as the SER on numerous buildings that are similar to the subject building. Travis Stanley E.I.T. has aided in the observation work, analysis, and research and has contributed to the preparation of the report.

### **Methods of Investigation**

The method of investigation was by casual observation and was limited to those structural elements that were exposed to view. However, much of the structural system was covered by finish material, in which case the performance of the finish material was assumed to reflect the performance of the structural elements to which the finish material was attached. No attempt was made to perform an exhaustive investigation of all structural elements. No finish material was removed or damaged to expose the underlying structural elements. No existing as built documents were available for our use. Nor were we made aware of any previous reports related to the structural condition of the building or investigation of building elements.

### **Building Description**

The building is a two story house with a full basement. The original structure was constructed on or about 1880. The roof is constructed with hand framed lumber joists which are supported on wood stud bearing walls at the building perimeter. The house appears to have had one or more additions since its initial construction.

The foundation walls that could be observed were constructed with rubble limestone masonry below grade. The first floor is supported at the interior of the basement level with heavy timber beams, supported on timber columns that extend to the basement floor. The basement floor areas that were not covered were observed to be concrete slab on grade. It is assumed that the building walls and interior columns rest on spread footings.

### **Observed Conditions**

In general, the structural elements of the building framing and foundation were judged to be in poor condition. There were conditions of deterioration or damage noted in the observations and will be described below in more detail.

The post at the front porch is loose. When a gentle force was applied to the post's base, it displaced one to two inches. Picture 1 shows the base of the post after the displacement occurred. The light patch on the concrete is the original location of the post. The easy displacement implies that it is no longer supporting any load. An awning is above the porch and was probably originally designed to be supported by the post. Picture 2 shows the front porch, including the top of the post and the awning.



**Picture 1 – Front Porch Post**





**Picture 2 – Front Porch**

The chimney above the main portion of the house may need to be repaired. Some of the bricks have been damaged and are missing pieces. Picture 3 shows the chimney as seen from the ground below, including a couple of the damaged pieces. We were unable to observe the top of the chimney more closely.



**Picture 3 – Chimney in Center of House**

Water damage was observed in the ceiling of the 2<sup>nd</sup> floor. It is likely that the roof is damaged and allows water to get into the house. We were unable to review the roof to observe its condition. It is also likely that the water damage is more extensive than the one area that we were able to observe. There was a smell of mold present during our walkthrough suggesting that water damage and mold growth is prevalent throughout the house. Picture 4 shows the area of the 2<sup>nd</sup> floor that we were able to observe that has water damage.



**Picture 4 – Water Damage to 2<sup>nd</sup> Floor Ceiling**

Some of the floors within the home are slightly uneven (not pictured). This is likely due to localized settling within the home.

Many of the joists are rotting in the basement. Much of the damage is located where the joists bear on the foundation wall. Picture 5 shows two such joists.



**Picture 5 – Joists Bearing on Foundation Wall**

The interior foundation walls are different at different locations. This is likely due to the house being constructed in separate additions. The foundation walls appeared to be functional. Picture 6 shows the interior limestone foundation wall with a brick foundation wall behind it. Picture 7 shows a different foundation wall in the basement. It is relatively free of cracks and seems to be in good condition.



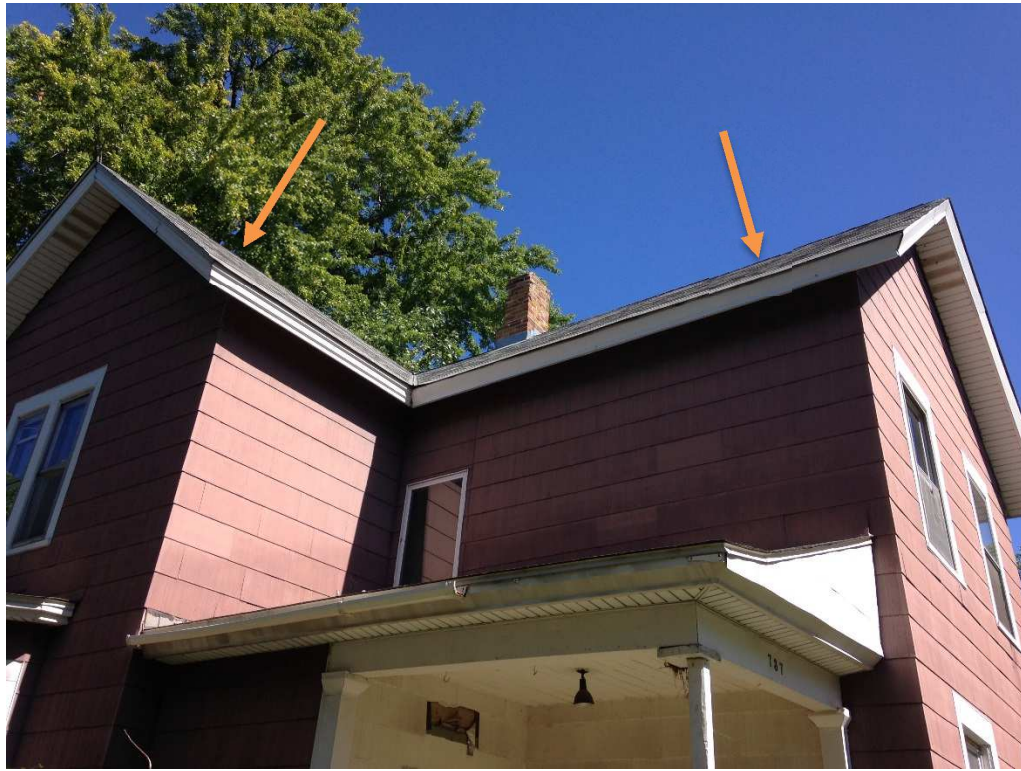
**Picture 6 – Interior Foundation Walls**



**Picture 7 – Interior Foundation Walls**



The roof and exterior walls, as observed from the outside, appeared to be in good condition. The roof was flat and there were no obvious problems. The exterior walls appeared to be plumb. Picture 8 shows two such roofs and Picture 9 shows one such wall.



**Picture 8 – House Roofs**



**Picture 9 – House Exterior Wall**

### Summary

The residence at 737 Plum St. is in generally poor condition. As stated above, we made no attempt to remove finish material. Our opinions are based on what was in plain sight. The problems that were seen are likely more extensive than what we observed but were covered with finish materials. In addition to what was previously listed, there could be more issues that we could not observe. Repairs are possible, but it would likely be relatively costly. A more thorough structural review would be required in order to give details for the repair of any specific structural system.

### Limiting Conditions:

The opinions and recommendations contained in this report are based on a cursory observation of the building. No attempt was made to perform an exhaustive investigation of all conditions and building elements. It is possible that conditions exist that cannot be discovered or judged as a result of this limited nature of investigation. The work provided in the preparation of the report concerns the structural system only and is not intended to address mechanical, electrical or plumbing systems, fire protection or handicap accessibility. The owner is encouraged to discuss these items with a building official and other design professionals for guidance and recommendations.

If you have any questions concerning the above, please do not hesitate to contact us.

Sincerely  
Mattson Macdonald Young, Inc.



Travis Stanley, E.I.T.



Joe Cain, P.E.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.



Joe Cain, P.E.

09/14/2015

MN Reg. No. 40119



Attachment B – 737 Plum Exterior and Surrounding Photos





Attachment B – 737 Plum Exterior and Surrounding Photos





Attachment B – 737 Plum Exterior and Surrounding Photos





Attachment B – 737 Plum Exterior and Surrounding Photos



Taken 8/25/15



Attachment B – 737 Plum Exterior and Surrounding Photos



Taken 8/25/15



Attachment B – 737 Plum Exterior and Surrounding Photos



Taken 8/25/15



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Attachment B – 737 Plum Exterior and Surrounding Photos



Taken 8/25/15





CITY OF SAINT PAUL  
Christopher B. Coleman, Mayor

375 Jackson Street, Suite 220  
Saint Paul, Minnesota 55101-1806

Telephone: 651-266-8989  
Facsimile: 651-266-9124  
Web:

[www.stpaul.gov/ds](http://www.stpaul.gov/ds)

## Code Compliance Report

March 13, 2012

Housing and Redevelopment  
25 W 4th St Ste 1300  
St Paul MN 55102

Re: 737 Plum St  
File#: 10 220465 VB2

Dear Property Owner:

The following is the Code Compliance report you requested on February 13, 2012.

Please be advised that this report is accurate and correct as of the date March 13, 2012. All deficiencies identified by the City after this date must also be corrected and all codes and ordinances must be complied with. This report is valid for 365 days from March 13, 2012. This report may be used in lieu of a Truth in Housing Report required in St Paul Legislative Code 189. This building must be properly secured and the property maintained at all times.

In order to sell or reoccupy this property the following deficiencies must be corrected:

**BUILDING**      **Inspector: Jim Seeger**      **Phone: 651-266-9046**

- Remove mold, mildew and moldy or water damaged materials.
- Remove or encapsulate asbestos in an approved manner if present.
- Install handrails (34 inches - 38 inches above each nosing) and guardrails (36 inch minimum) at all stairways, and return hand rail ends into a newel post or wall per attachment.
- Repair or Replace any deteriorated window sash, broken glass, sash holders, re-putty, etc as necessary.
- Provide complete storms and screens, in good repair for all door and window openings.
- Provide functional hardware at all doors and windows
- Exit doors shall be capable of being opened from the inside, easily and without the use of a key. Remove all surface bolts.

- Repair or replace damaged doors and frames as necessary, including storm doors.
- Install floor covering in bathroom and kitchen that is impervious to water.
- Prepare and paint interior and exterior as necessary. Observe necessary abatement procedures (EPA, MPCA and St. Paul Legislative Code, Chapter 34 for additional information) if lead base paint is present.
- Provide fire block construction as necessary and seal chases in basement ceiling.

Re: 737 Plum St

March 13, 2012

Page 2

**BUILDING**      **Inspector: Jim Seeger**      **Phone: 651-266-9046**

- Air-seal and insulate attic/access door.
- Install Smoke Detectors/Carbon Monoxide Detectors per MN Conservation Code and the MN Dept. of Labor and Industry: Install per code where feasible.
- Provide major clean-up of premises.
- Repair siding, soffit, fascia, trim, etc. as necessary.
- Provide proper drainage around house to direct water away from foundation of house.
- Provide proper drainage around house to direct water away from foundation of garage.
- Install downspouts and a complete gutter system on house and garage.
- Install rain leaders to direct drainage away from foundation.
- Provide general rehabilitation of garage.
- Review all applicable codes & policies when replacing windows including egress windows for sleeping rooms.
- Properly attach deck to house and support post to beams.
- Replace overhead garage door on garage.
- Install gable end supports in garage ceiling.
- Install 1 hour fire wall on west wall of garage.
- Repair or remove fences.
- Install support for head joist over basement stairs both ends.
- Install vapor barrier in crawl spaces
- Remove second floor kitchen.
- Repair second floor ceilings.
- Replace decayed or mismatched siding and trim.
- Have fireplace inspected by qualified inspector and submit report.
- A building permit is required to correct the above deficiencies.

**ELECTRICAL**      **Inspector: Dan Moynihan**      **Phone: 651-266-9036**

- Bond around water meter with a copper wire sized for the electrical service per Article 250 of the NEC
- Remove all cord wiring - garage.

- Repair or Replace all broken, missing or loose light fixtures, switches and outlets, covers and plates
- Check all outlets for proper polarity and verify ground on 3-prong outlets. No power at time of inspection.
- Install hard-wired, battery backup smoke detector per bulletin 80-1 and other smoke detectors as required by the IRC. Also, Install carbon monoxide detector(s) within 10 feet of all bedrooms
- Remove and or/ re-wire all illegal, improper or hazardous wiring in garage.
- Repair service mast.
- Based on repair list purchase permit for a service and 5 circuits.
- All added receptacles must be grounded, tamper-resistant and be on an Arc-Fault Circuit Interrupter-protected circuit.

Re: 737 Plum St  
 March 13, 2012  
 Page 3

**ELECTRICAL**      **Inspector: Dan Moynihan**      **Phone: 651-266-9036**

- Any open walls or walls that are opened as part of this project must be wired to the standards of the current NEC.
- All buildings on the property must meet the St. Paul Property Maintenance Code (Bulletin 80-1).
- All electrical work must be done by a Minnesota-licensed electrical contractor under an electrical permit.

**PLUMBING**      **Inspector: Rick Jacobs**      **Phone: 651-266-9054**

- Basement - Water Heater - No gas shut off or gas piping incorrect (IFGC 402.1)
- Basement - Water Heater - gas venting incorrect (IFGC 503)
- Basement - Water Heater - not fired or in service (MPC 2180)
- Basement - Water Meter - corroded piping; incorrect piping (MPC 0200 0.)
- Basement - Water Meter - meter is removed or not in service (MPC 4715.1700)
- Basement - Water Meter - meter needs repair or is broken
- Basement - Water Meter - raise meter to a minimum 12 inches above floor (MPC 2280)
- Basement - Water Meter - service valves not functional or correct (MPC 1800 Subp 3,4)
- Basement - Water Meter - support meter properly (MPC 2280)
- Basement - Water Piping - improper fittings or usage (MPC 0420)
- Basement - Water Piping - improper piping or usage (MPC 0520)
- Basement - Water Piping - pipe sizing incorrect (MPC 4715.1730)
- Basement - Water Piping - provide water piping to all fixtures and appliances (MPC 1700)
- Basement - Water Piping - repair or replace all corroded, broken or leaking piping (MPC 4715.1720)

- Basement - Water Piping - run 1 inch water line from meter to first major take off (SPRWS Water Code)
- Basement - Water Piping - missing - replace to code.
- Basement - Gas Piping - dryer gas shutoff; connector or piping incorrect (IFGC 402.1)
- Basement - Gas Piping - replace improper piping or fittings (IFGC 406.1.2)
- Basement - Gas Piping - run dryer vent to code (IFGC 613.1 - IMC 604.1)
- Basement - Soil and Waste Piping - add appropriate hangers (MPC 1430 Subp. 4)
- Basement - Soil and Waste Piping - improper pipe supports (MPC 1430 Subp. 4)
- Basement - Soil and Waste Piping - no front sewer clean out (MPC 1000)
- Basement - Soil and Waste Piping - no soil stack base clean out
- Basement - Soil and Waste Piping - replace the floor drain cover or clean out plug (MPC 1300)
- Basement - Soil and Waste Piping - unplugged or open piping; back pitched piping (MPC 1000)
- Basement - Laundry Tub - faucet is missing, broken or parts missing (MPC 0200. P.)
- Basement - Laundry Tub - water piping incorrect (MPC 0200 P.)
- First Floor - Main Bath - Gas Piping - range gas shut off; connector or piping incorrect (IFGC 411 1.3.3)

Re: 737 Plum St

March 13, 2012

Page 4

**PLUMBING**      **Inspector: Rick Jacobs**      **Phone: 651-266-9054**

- First Floor - Main Bath - Lavatory - waste incorrect (MPC 2300) also secure to wall properly.
- First Floor - Main Bath - Sink - waste incorrect (MPC 2300)
- First Floor - Main Bath - Toilet Facilities - incorrectly vented (MPC 2500)
- First Floor - Main Bath - Toilet Facilities - waste incorrect (MPC 2300)
- First Floor - Main Bath - Tub and Shower - Provide access (MPC 0900)
- First Floor - Main Bath - Tub and Shower - provide stopper (MPC 1240)
- First Floor - Main Bath - Tub and Shower - replace waste and overflow (MPC 1240)
- First Floor - Master Bath - Toilet - reset toilet to floor.
- First Floor - Master Bath - Lavatory - waste incorrect (MPC 2300) also secure to wall properly
- First Floor - Master Bath - Tub and Shower - Provide access (MPC 0900)
- First Floor - Master Bath - Tub and Shower - provide stopper (MPC 1240)

- Exterior - Gas piping - test gas piping and provide proper entry into building for Excel, unlock of the gas meter.
- Exterior - Gas Piping - Improper entry into dwelling (IFGC 404.4)
- Exterior - Piping Vents - Incorrect sizing (MPC 2530 Subp. 2) also verify proper vent through roof of main bathroom
- Comments: - Remove gas opening from first floor bathroom behind tub shower.  
Waste for bathrooms in an inaccessible location. Plumber to verify proper waste.
- Obtain plumbing permits prior to commencement of work.

**HEATING**      **Inspector: Maureen Hanson**      **Phone: 651-266-9043**

- Install approved lever handle manual building shutoff gas valve in an accessible location ahead of the first branch tee
- Clean and Orsat test boiler burner. Check all controls for proper operation. Check furnace heat exchanger for leak; provide documentation from a licensed contractor that the heating unit is safe
- Install approved metal chimney liner
- Connect furnace and water heater venting into chimney liner
- Vent clothes dryer to code
- Provide adequate combustion air and support duct to code
- Provide support for gas lines to code
- Plug, cap and/or remove all disconnected gas lines
- Install furnace air filter access cover
- All supply and return ducts for warm air heating system must be clean before final approval for occupancy. Provide access for inspection of inside of ducts or provide documentation from a licensed duct-cleaning contractor that the duct system has been cleaned.
- Repair and/or replace heating registers as necessary
- Provide heat in every habitable room and bathrooms

Re: 737 Plum St  
March 13, 2012  
Page 5

**HEATING**      **Inspector: Maureen Hanson**      **Phone: 651-266-9043**

- Submit Documentation from a licensed contractor that the wood burning fireplace is clean and safe for use or permanently seal openings
- Install sediment trap (dirt leg) on gas line to furnace.
- Mechanical gas permit is required for the above work.

**ZONING**

1. This property is in a(n) RT1 zoning district.
2. This property was inspected as a Single Family Dwelling.

**Notes:**

- See attachment for permit requirements and appeals procedure.

- This property is in a designated Heritage Preservation District and all exterior work is subject to HPC guidelines and review before permits are issued.
- Most of the roof covering could not be inspected from grade. Recommend this be done before rehabilitation is attempted.
- The building is approved for 1dwelling units but contains 2 dwelling units. Obtain approval for additional units or remove the excess dwelling units. If the additional units are approved, maintain the required fire-separation between dwelling units and between units and common area.

**This is a registered vacant building. In order to sell or reoccupy this building, all deficiencies listed on this code compliance report must be corrected in accordance with the Minimum Housing Standards of the St. Paul Legislative Code (Chapter 34) and all required permits must receive final approval within six (6) months of the date of this report. One (1) six-month time extension may be requested by the owner and will be considered if it can be shown that the code compliance work is proceeding and is more than fifty (50) percent complete in accordance with Legislative Code Section 33.03(f).**

You may file an appeal to this notice by contacting the City Clerk's Office at 651-266-8688. Any appeal must be made in writing within 10 days of this notice. (You must submit a copy of this notice when you appeal, and pay a filing fee.)

If you have any questions regarding this inspection report, please contact Jim Seeger between 7:30 - 9:00 AM at 651-266-9046 or leave a voice mail message.

Sincerely,

James L. Seeger, Code Compliance Officer  
Phone: 651-266-9046  
Email: [james.seeger@ci.stpaul.mn.us](mailto:james.seeger@ci.stpaul.mn.us)

JLS:ml

Attachments





737 PLUM

9.18.12

MARPE DEVELOPMENT

WHITTEN ASSOCIATES, INC.

# MARPE DEVELOPMENT

651-226-5060

www.marpedevelopment.com

## GENERAL NOTES

1. MATERIAL AND COLOR SELECTIONS ARE PROVIDED IN THE SCOPE OF WORK

2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND EXISTING BUILDING CONDITIONS.

3. SIMILAR MATERIALS INDICATED ON DIFFERENT PLANS, SECTIONS AND DETAILS, AND ANNOTATED ON ONE OR MORE PLAN, SECTION OR DETAIL SHALL BE CONSIDERED ANNOTATED, NOTED OR LABELED COMPLETELY ON ALL PLANS, SECTIONS AND DETAILS.

4. IN THE CASE OF AMBIGUITIES, DISCREPANCIES OR IRREGULARITIES IN THE DRAWINGS, SPECIFICATIONS, MANUFACTURING INSTRUCTIONS, SITE CONDITIONS OR APPLICABLE CODES AND STANDARDS, REQUEST CLARIFICATION FROM MARPE DEVELOPMENT BEFORE PROCEEDING.

THE COST OF CORRECTING WORK DONE AS A RESULT OF PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.

5. THE CONTRACTOR AND/OR OWNER MUST VERIFY AND CHECK ALL NOTES, FLOOR PLANS, ELEVATIONS, SECTIONS AND DETAILS AND NOTIFY THE MARPE DEVELOPMENT OF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION PRIOR TO START OF CONSTRUCTION.

6. ELECTRICAL LAYOUT TO BE SUPPLIED BY THE ELECTRICAL CONTRACTOR.

7. MECHANICAL LAYOUT TO BE SUPPLIED BY THE MECHANICAL CONTRACTOR.

8. PLUMBING LAYOUT TO BE SUPPLIED BY THE PLUMBING CONTRACTOR.

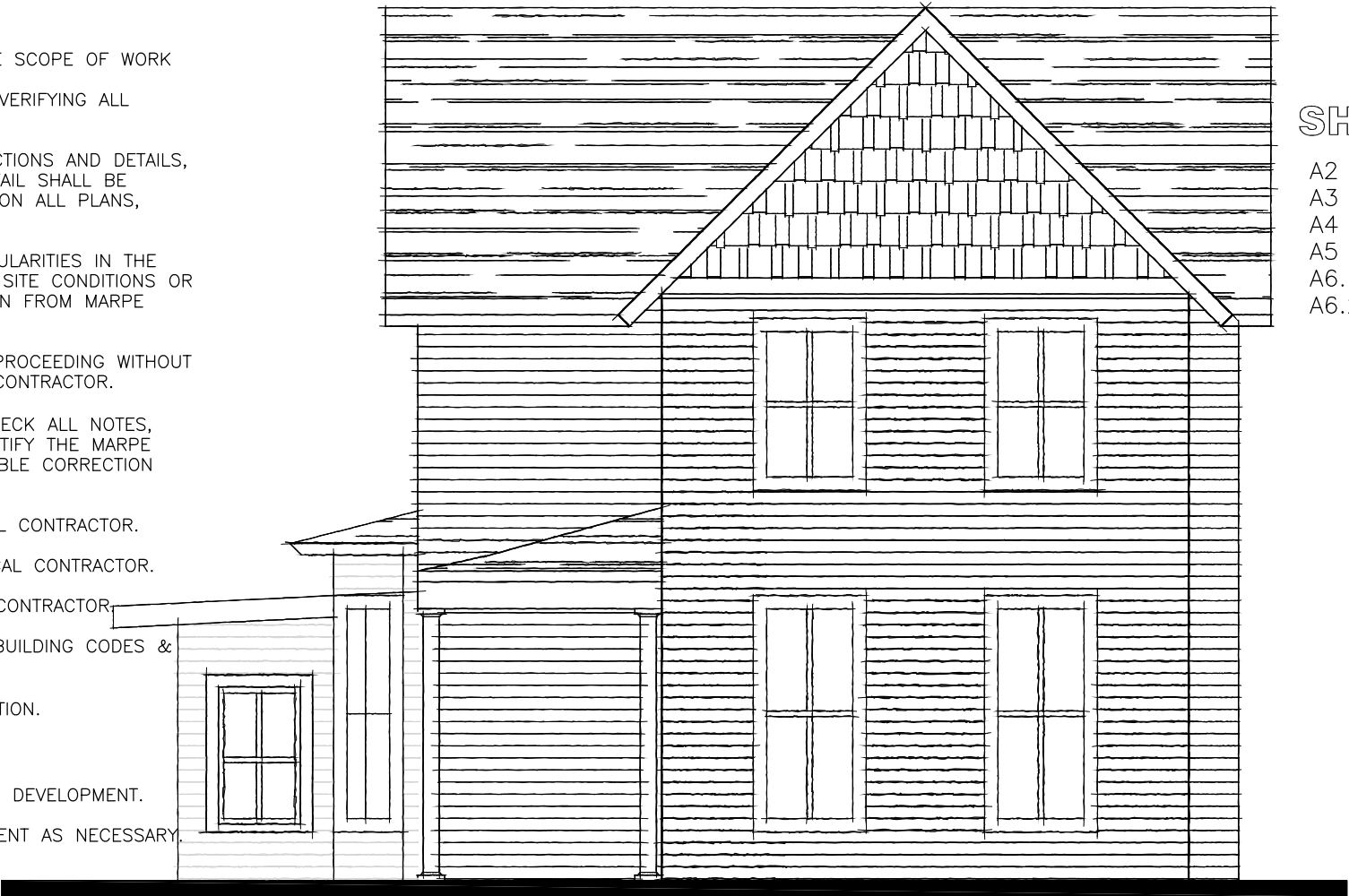
9. ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE BUILDING CODES & ORDINANCES.

10. SEE FLOOR/EQUIPMENT PLAN FOR ADDITIONAL INFORMATION.

## KITCHEN NOTES

1. VERIFY ALL EQUIPMENT AND CABINETRY WITH THE MARPE DEVELOPMENT.

2. CONTRACTOR TO PROVIDE CUT SHEETS FOR ALL EQUIPMENT AS NECESSARY.

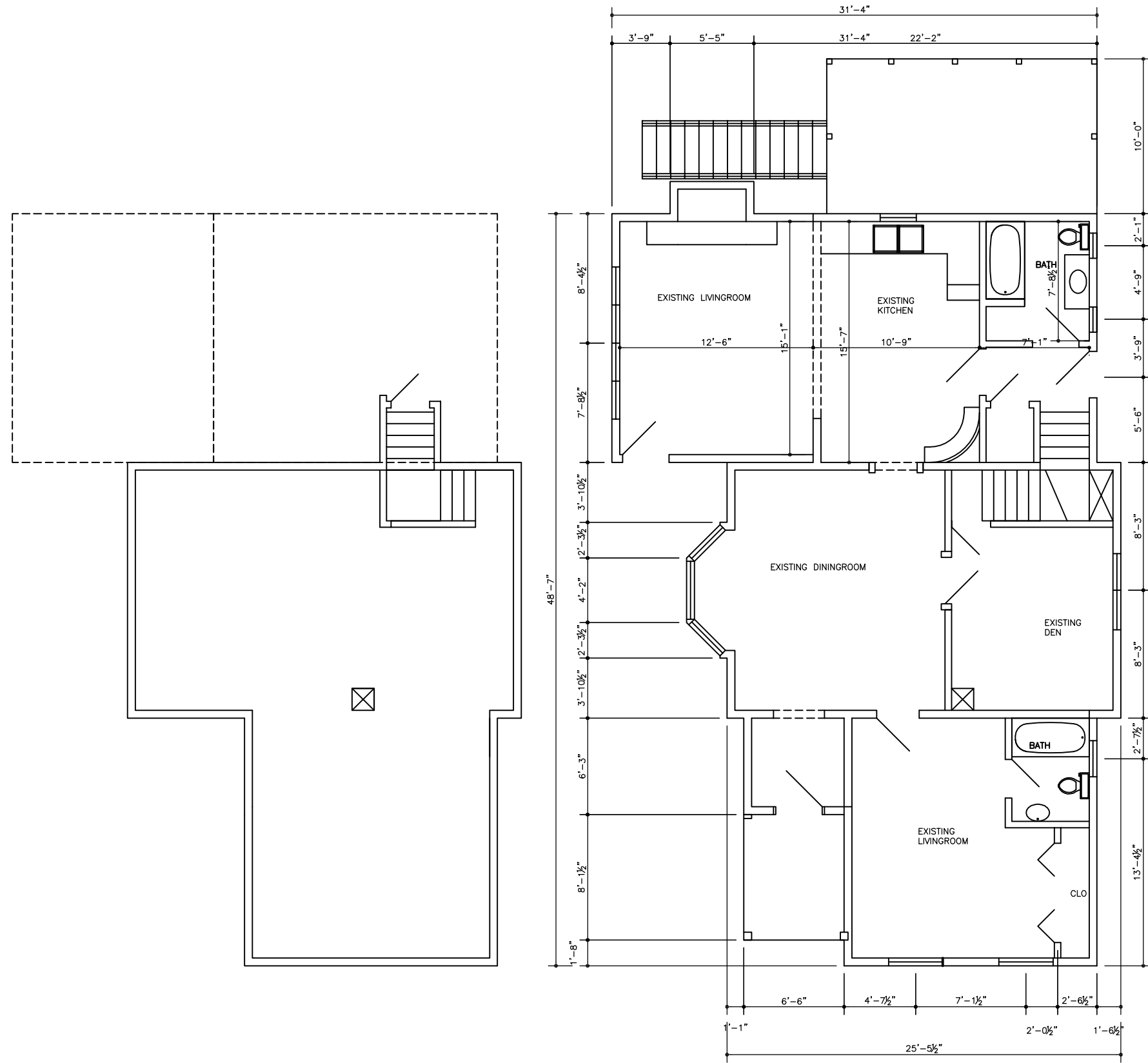


## SHEET INDEX

- A2 EXISTING FLOOR PLANS
- A3 DEMOLITION FLOOR PLANS
- A4 PROPOSED FLOOR PLANS
- A5 ELEVATIONS AND NOTATIONS
- A6.1 INTERIOR ELEVATIONS, WINDOW AND DOOR STYLES
- A6.2 GARAGE

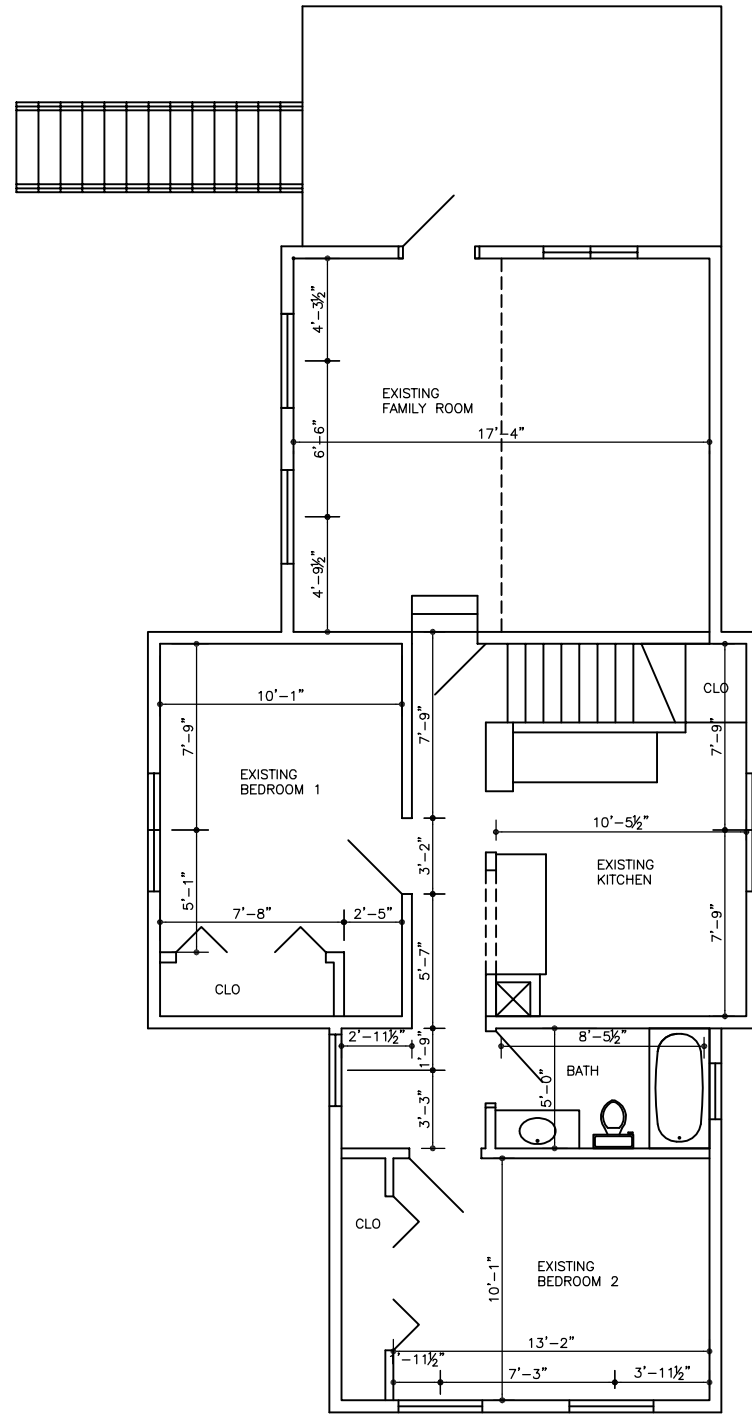
737 PLUM  
ST PAUL, MN



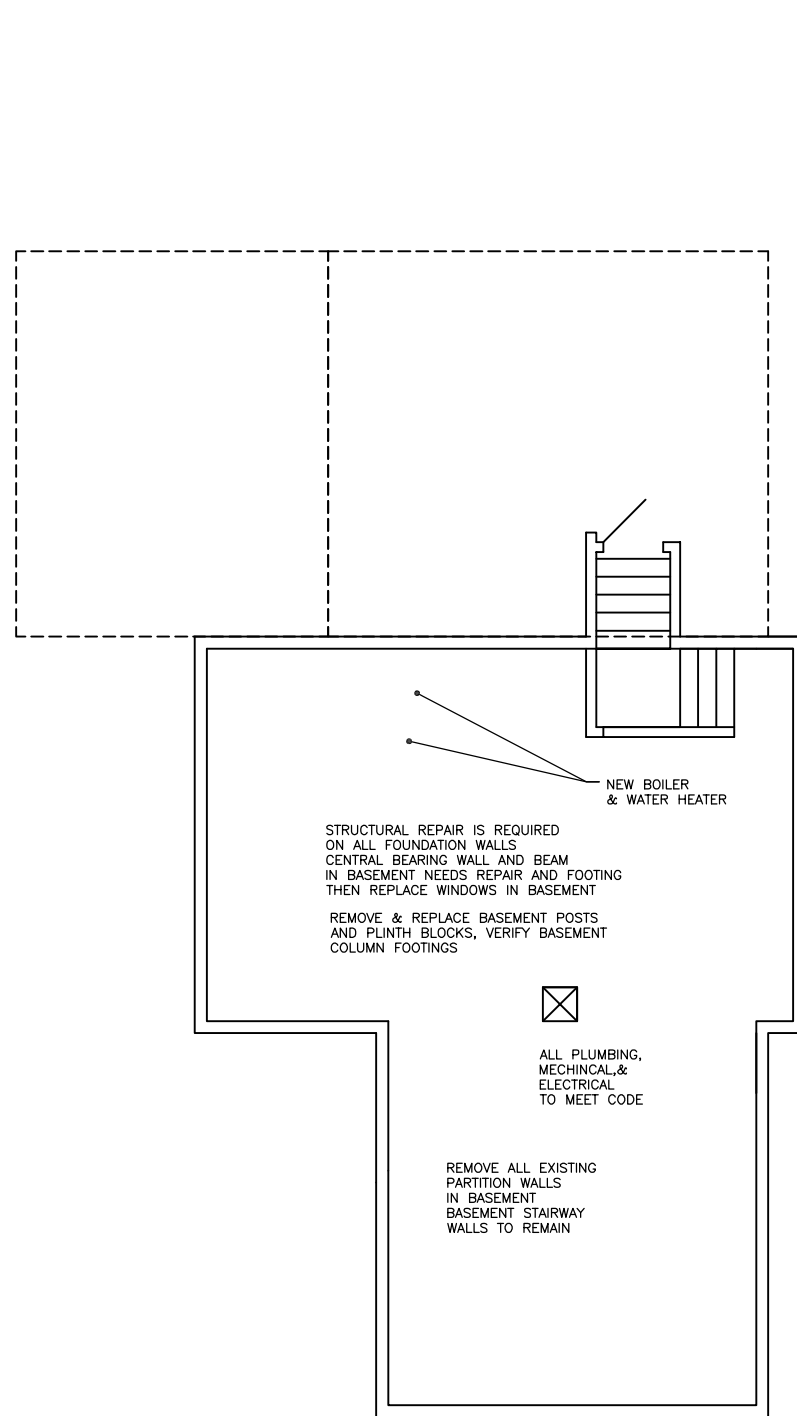


1 EXISTING BASEMENT PLAN  
 SCALE: 1/4" = 1'-0" ON 24 x 36  
 1/8" = 1'-0" ON 11 x 17

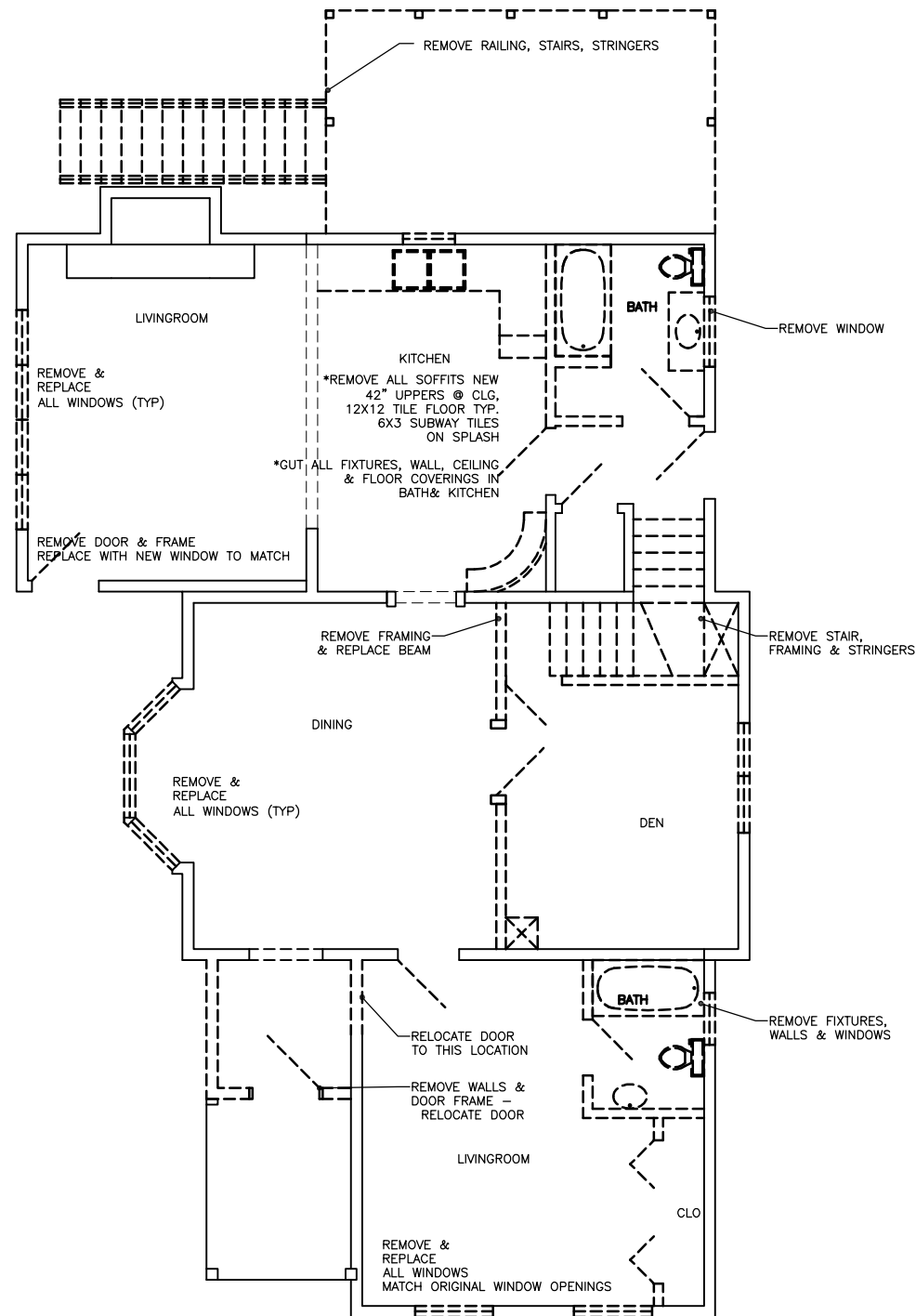
2 EXISTING MAIN LEVEL PLAN  
 SCALE: 1/4" = 1'-0" ON 24 x 36  
 1/8" = 1'-0" ON 11 x 17



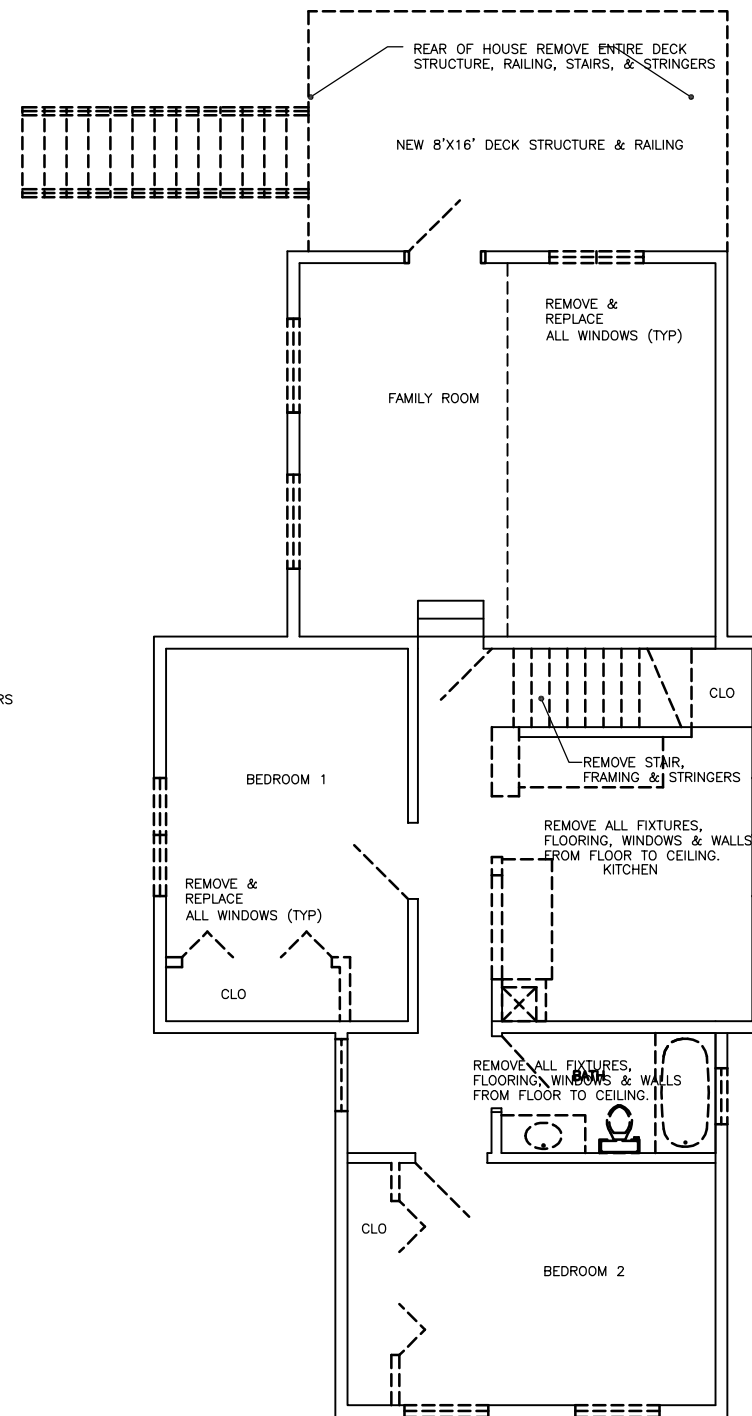
3 EXISTING SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0" ON 24 x 36  
 1/8" = 1'-0" ON 11 x 17



1 BASEMENT DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0" ON 24 x 36  
 1/8" = 1'-0" ON 11 x 17



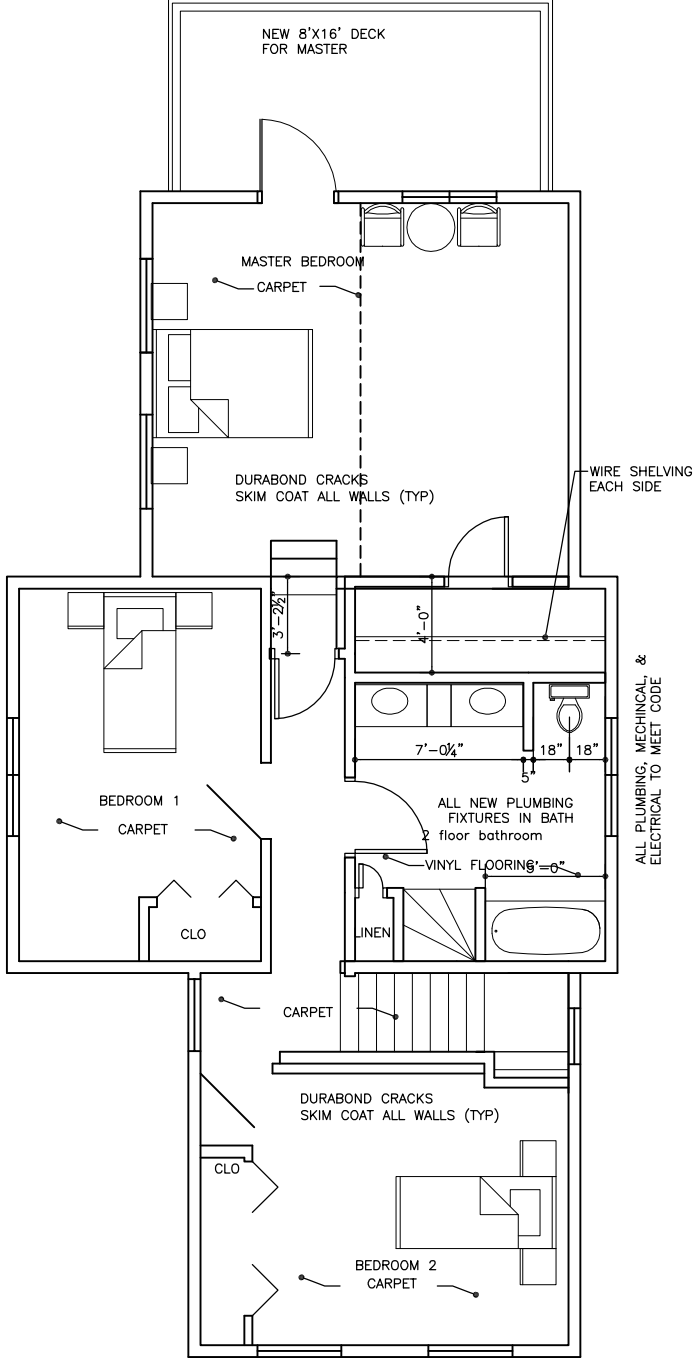
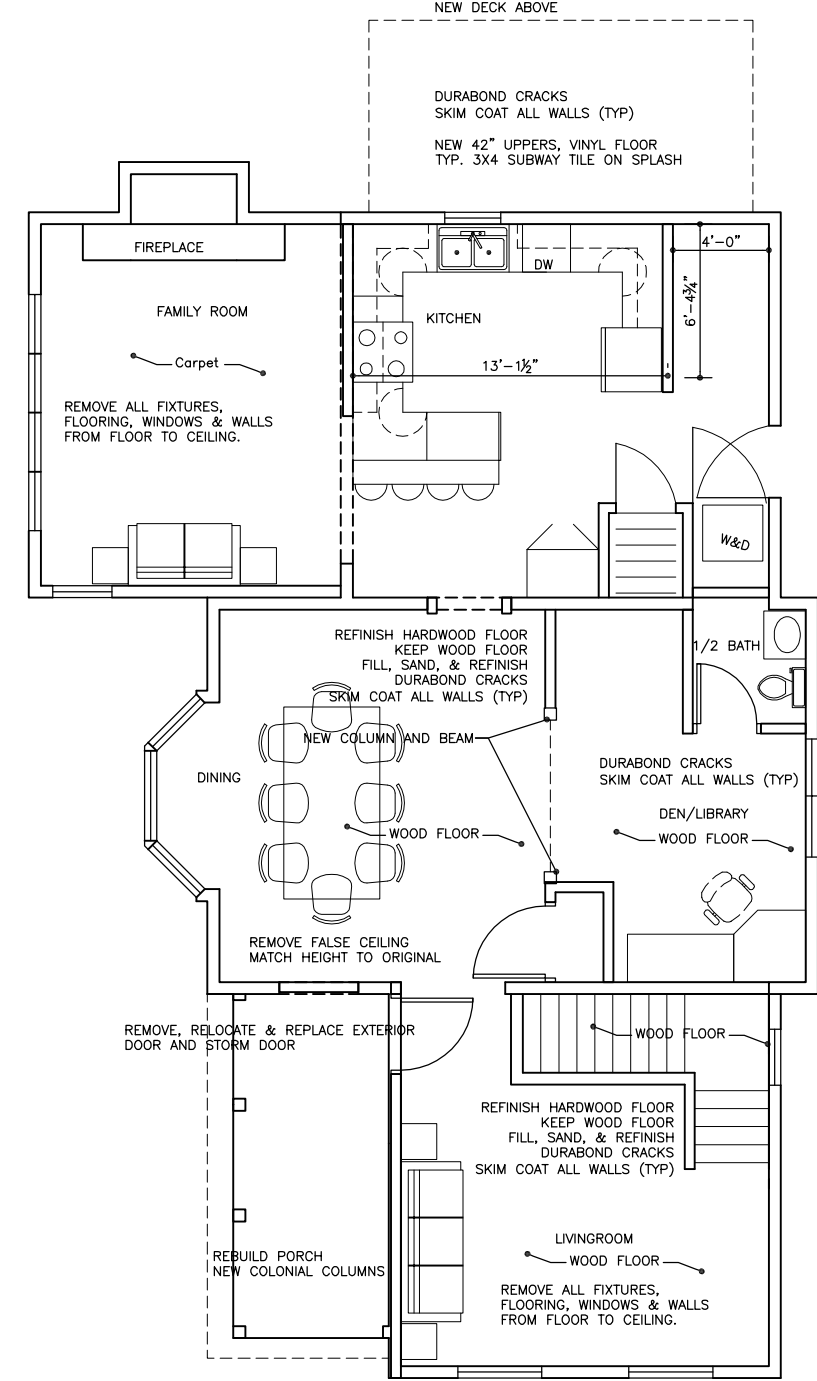
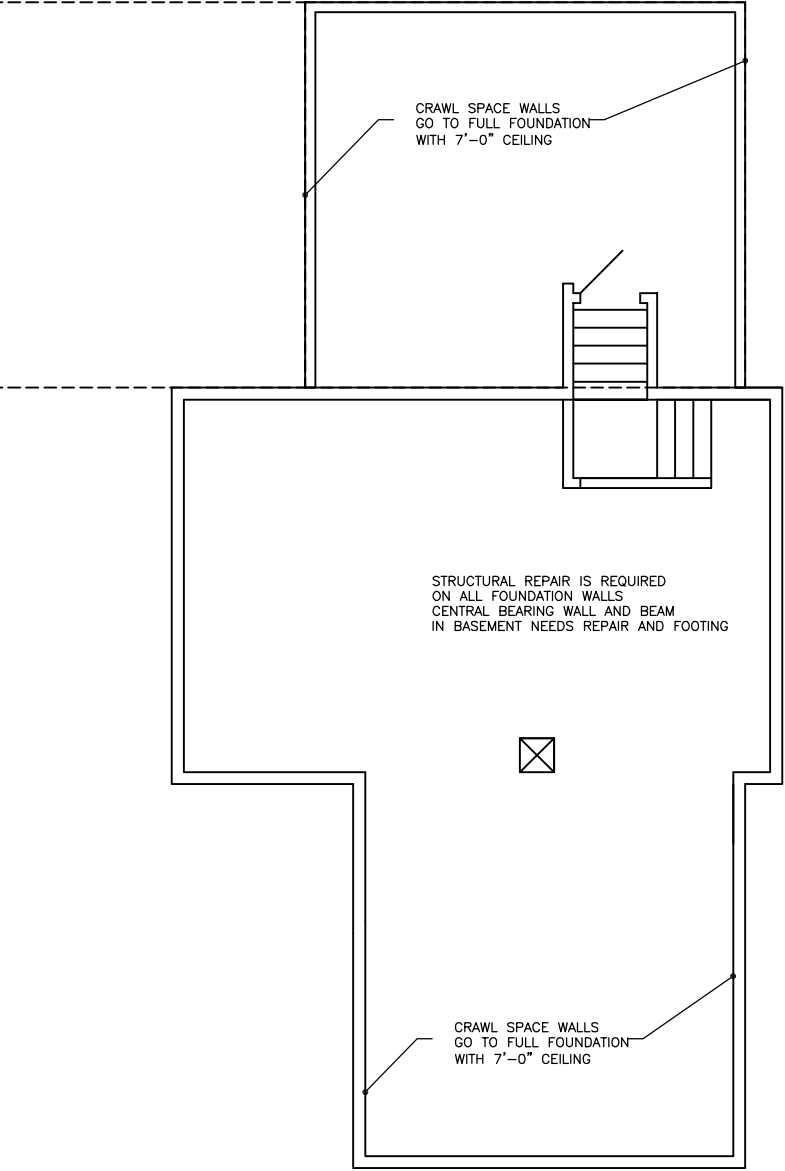
2 MAIN DEMOLITION LEVEL PLAN  
 SCALE: 1/4" = 1'-0" ON 24 x 36  
 1/8" = 1'-0" ON 11 x 17



3 SECOND FLOOR DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0" ON 24 x 36  
 1/8" = 1'-0" ON 11 x 17

- GENERAL NOTES
1. MATERIAL AND COLOR SELECTIONS ARE PROVIDED IN THE SCOPE OF WORK
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  10. SEE FLOOR/EQUIPMENT PLAN FOR ADDITIONAL INFORMATION.

- KITCHEN NOTES
1. VERIFY ALL EQUIPMENT AND CABINETRY WITH THE MARPE DEVELOPMENT.
  2. CONTRACTOR TO PROVIDE CUT SHEETS FOR ALL EQUIPMENT AS NECESSARY.



1 BASEMENT PLAN  
SCALE: 1/4" = 1'-0" ON 24 x 36  
1/8" = 1'-0" ON 11 x 17

2 MAIN LEVEL PLAN  
SCALE: 1/4" = 1'-0" ON 24 x 36  
1/8" = 1'-0" ON 11 x 17

3 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0" ON 24 x 36  
1/8" = 1'-0" ON 11 x 17

**BUILDING Renovation:**  
MARPE DEVELOPMENT  
737 PLUM  
St Paul, NE 55106

**MARPE DEVELOPMENT**

Sheet Number

A4

Project No. 660 CASE



2 SIDE ELEVATION (RIGHT)  
SCALE: 1/4" = 1'-0" ON 24 x 36  
1/8" = 1'-0" ON 11 x 17



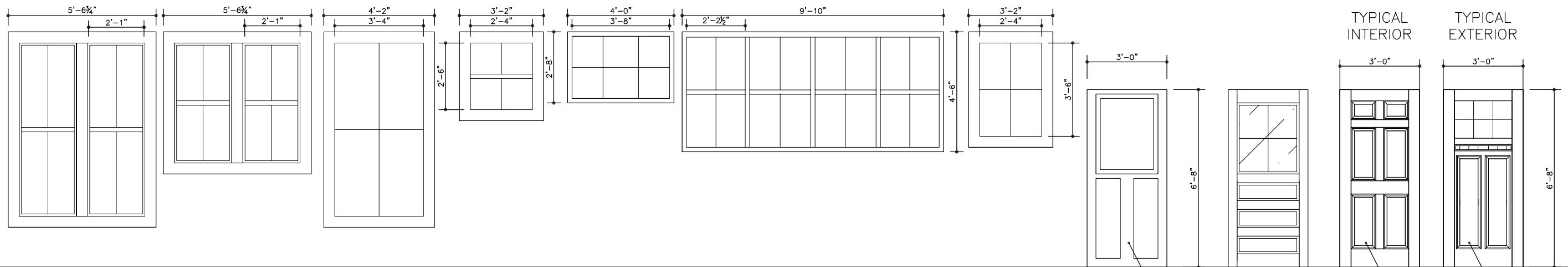
1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0" ON 24 x 36  
1/8" = 1'-0" ON 11 x 17

- NOTE:
1. ALL HORIZONTAL SIDING TO BE LP Smartboard (See Scope for color selections)
  2. ALL SHAKES IN GABLES TO BE LP Smartboard (See Scope for color selections)
  3. EXTERIOR TRIM/SOFFIT/DOOR (See Scope for color selections)
  4. ALL COLUMNS TO BE (See Scope for color & material selections)
  5. GUTTERS AND DOWNSPOUTS (See Scope for color selections)



4 SIDE ELEVATION (LEFT)  
SCALE: 1/4" = 1'-0" ON 24 x 36  
1/8" = 1'-0" ON 11 x 17

3 NOT USED  
SCALE: 1/4" = 1'-0" ON 24 x 36  
1/8" = 1'-0" ON 11 x 17

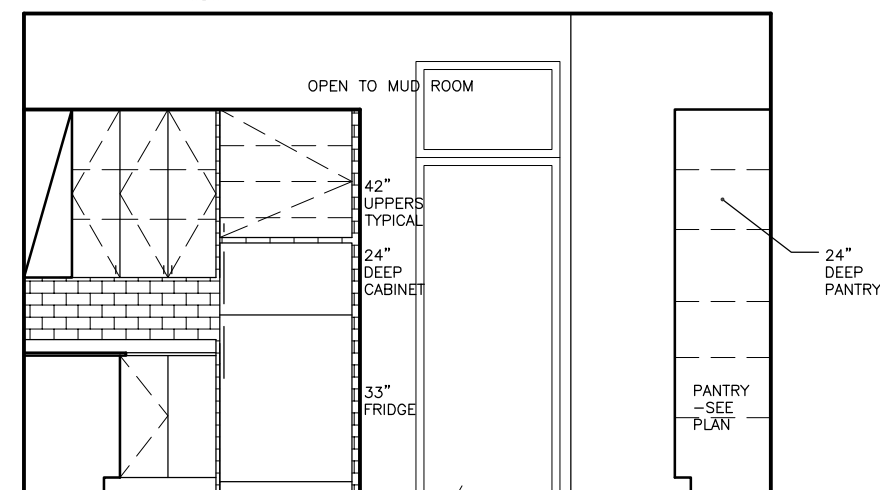
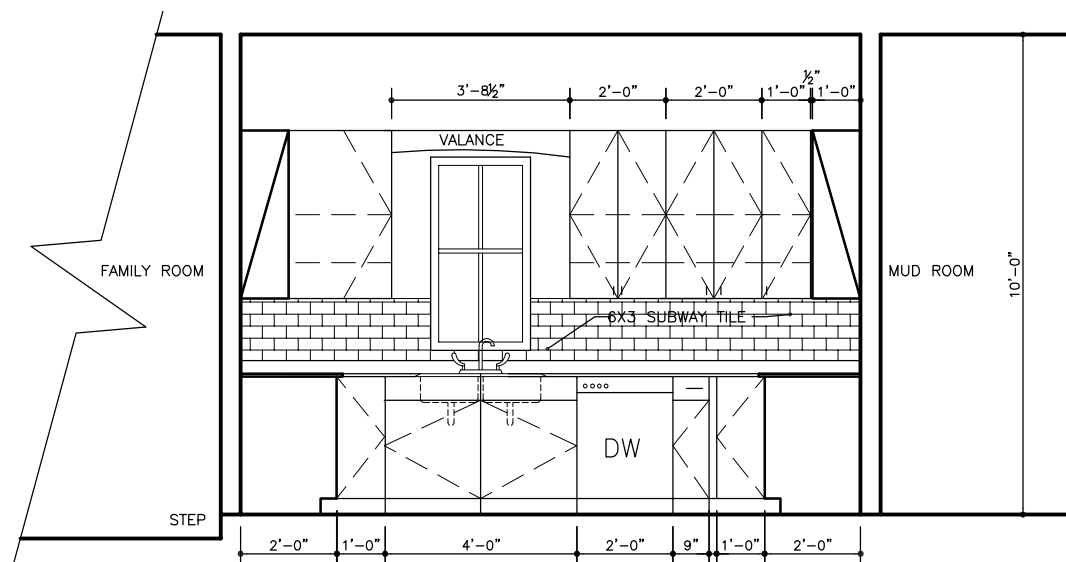
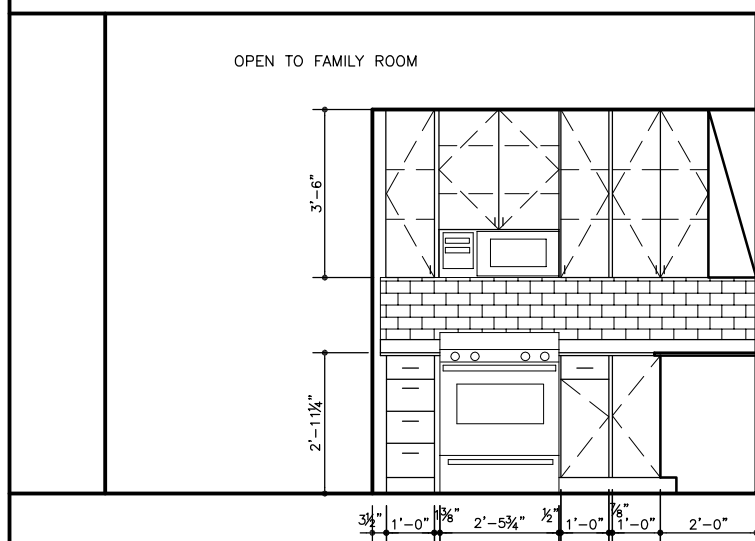


1 WDW & DOOR STYLES  
SCALE: 1/2" = 1'-0" ON 24 x 36  
1/4" = 1'-0" ON 11 x 17

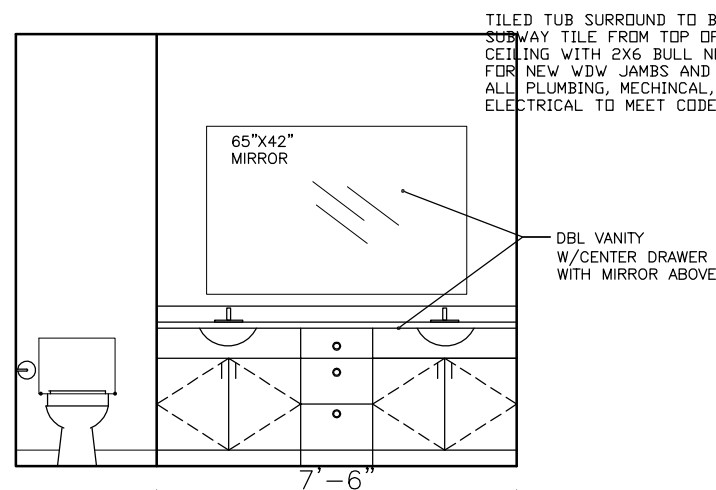
EXTERIOR DOOR  
@ KITCHEN  
1/2 LIGHT  
2 PANEL STYLE  
36" TYP  
WITH BLIND IN  
WDW

INTERIOR DOORS  
6 PANEL STYLE  
36" TYP WHITE

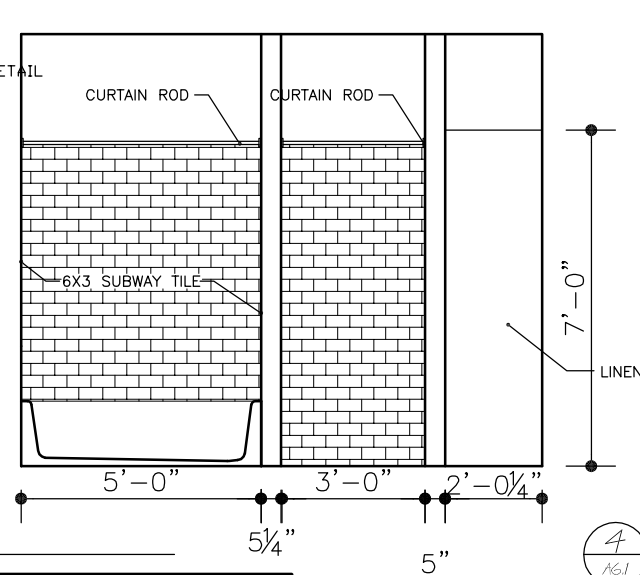
EXTERIOR DOORS  
CRAFTSMAN 3  
PANEL STYLE  
36" TYP



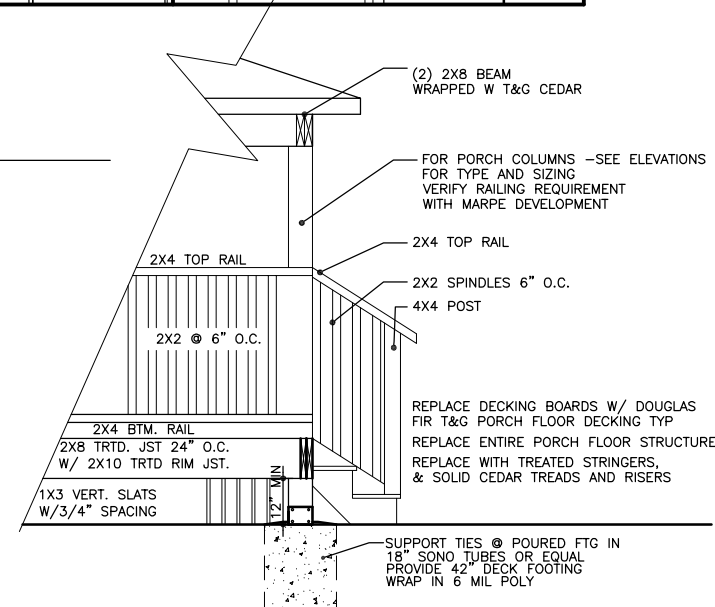
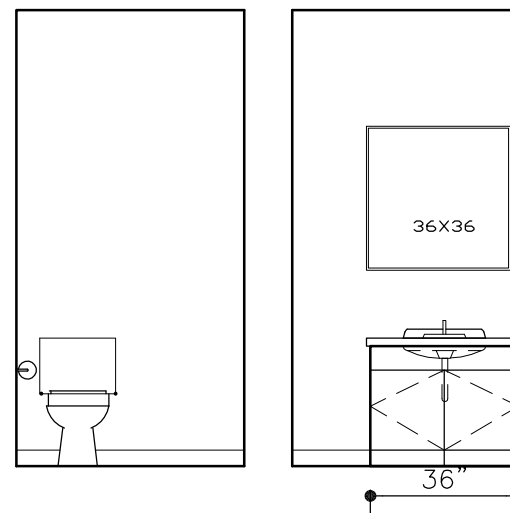
2 KITCHEN ELEVATIONS  
SCALE: 1/2" = 1'-0" ON 24 x 36  
1/4" = 1'-0" ON 11 x 17



3 MAIN (SECOND FLOOR) BATHROOM  
SCALE: 1/2" = 1'-0" ON 24 x 36  
1/4" = 1'-0" ON 11 x 17



4 MAIN 1/2 BATHROOM  
SCALE: 1/2" = 1'-0" ON 24 x 36  
1/4" = 1'-0" ON 11 x 17



6 PORCH DETAIL  
SCALE: 1/2" = 1'-0" ON 24 x 36  
1/4" = 1'-0" ON 11 x 17

5 NOT USED  
SCALE: 1/2" = 1'-0" ON 24 x 36  
1/4" = 1'-0" ON 11 x 17

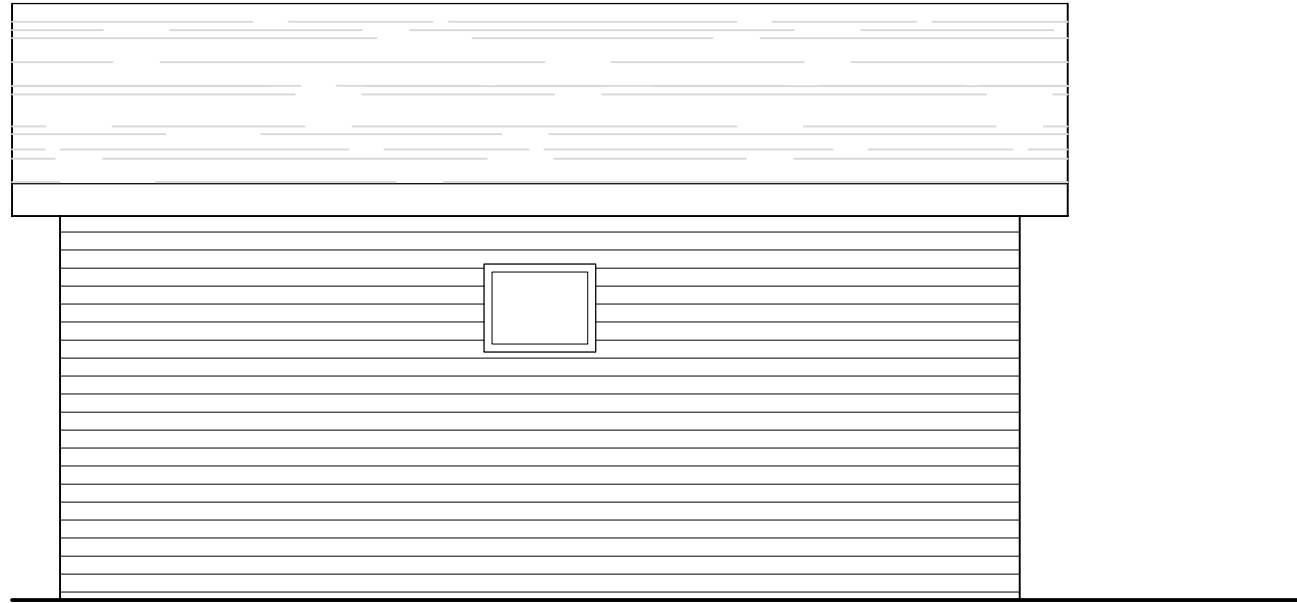
BUILDING Renovation:  
MARPE DEVELOPMENT  
737 PLUM  
St Paul, NE 55106

MARPE  
DEVELOPMENT

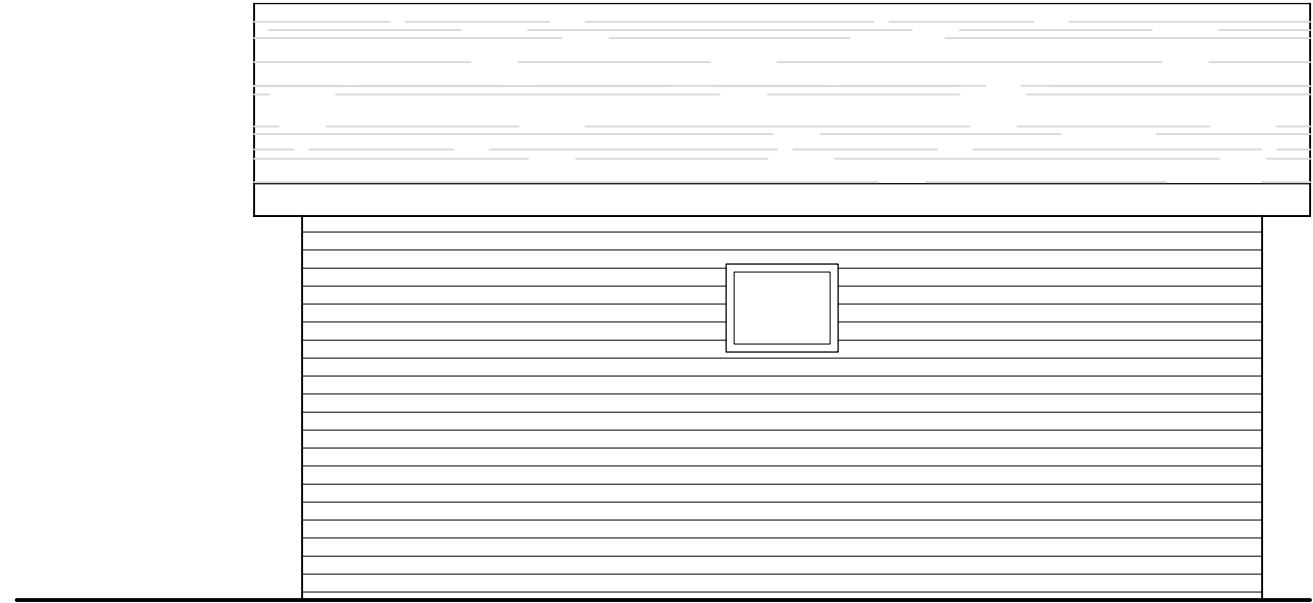
Sheet Number

A6.1

Project No. 660 CASE



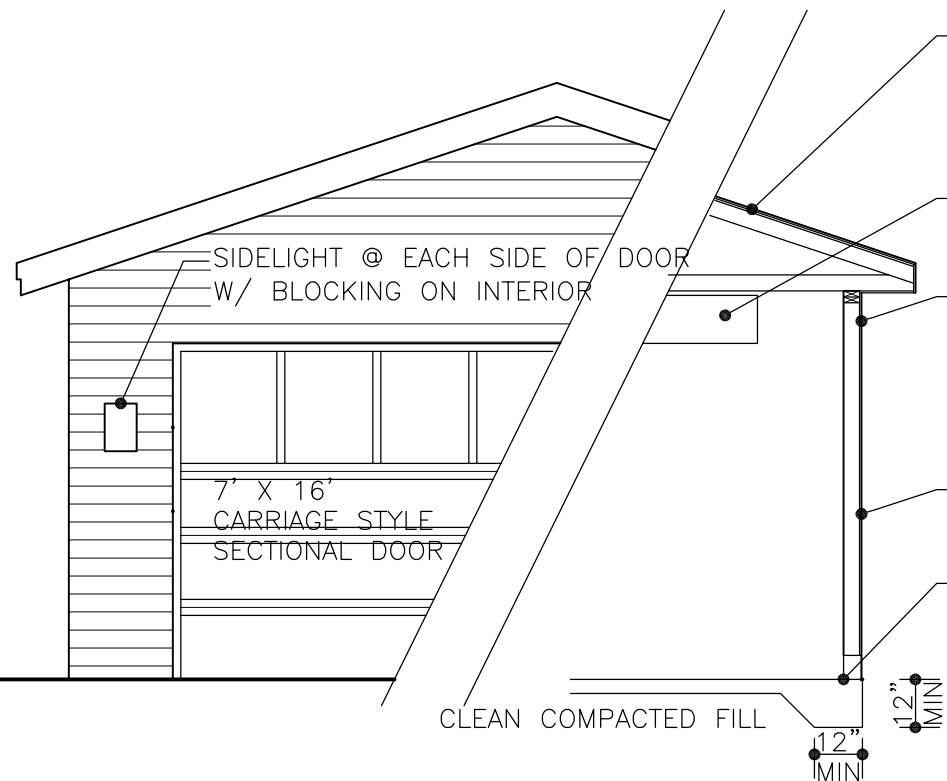
1 GARAGE SIDE ELEVATION  
SCALE: 1/2" = 1'-0" ON 24" x 36"  
1/4" = 1'-0" ON 11" x 17"



2 GARAGE SIDE ELEVATION  
SCALE: 1/2" = 1'-0" ON 24" x 36"  
1/4" = 1'-0" ON 11" x 17"

Garage Construction Notes:

- A) New "curb cuts" in the public way require a permit from Public Works. Public Works: (651) 266-6120.
- B) Wood on concrete or masonry in direct contact with the earth shall be treated or decay resistant, as well as sills or plates less than 8" from exposed ground, and siding, sheathing or wall framing less than 6" from grade.
- C) Garages adjacent to alleys are required to have contrasting house numbers posted, clearly visible from the alley.
- D) Alterations to existing topography shall provide drainage on-site to the public way.
- E) Contractors/owners are responsible for controlling erosion and run-off during construction and until landscaping is stabilized.
- F) Roof eave/overhangs must be at least 2 feet from adjacent private property. Roof run-off shall be controlled within the owner's property.
- G) Roof eave/overhangs closer than 5'-0" to the property lines must have 5/8" type X gypsum sheathing on the under side for fire protection.



3 GARAGE ALLEY ELEVATION  
SCALE: 1/2" = 1'-0" ON 24" x 36"  
1/4" = 1'-0" ON 11" x 17"

ASPHALT SHINGLES  
15# ASPHALT IMPREGNATED ROOFING FELT  
1/2" CDX EXT GRADE PLYWOOD SHEATHING W/H-CLIPS  
ENGINEERED WOOD TRUSSES 24" O.C.

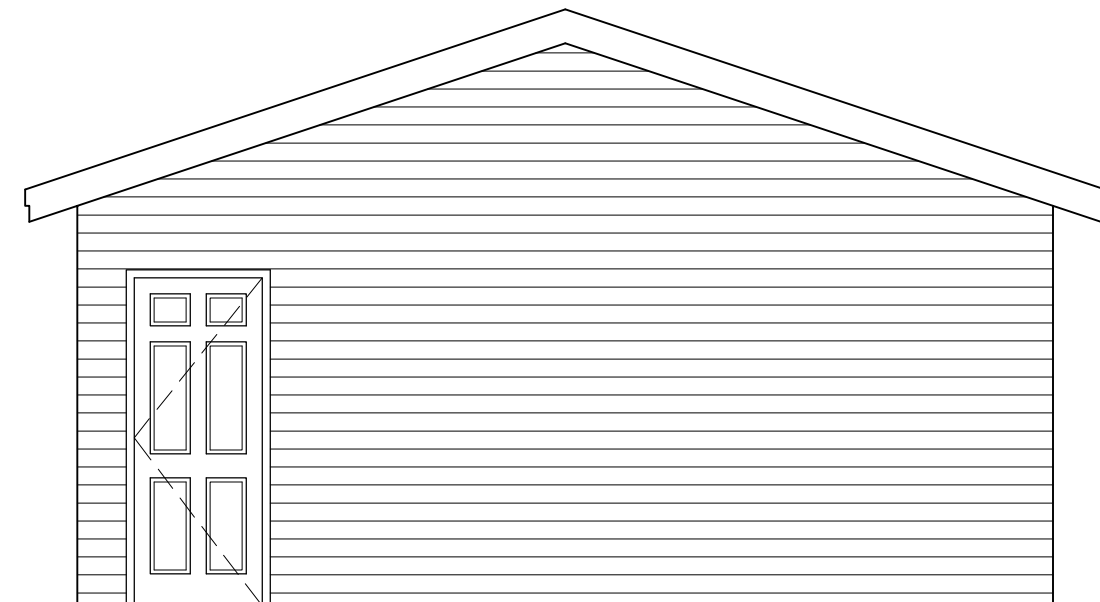
(2) 2X12 HEADERS  
ABOVE GARAGE DOOR

SIDING COLOR AND STYLE TO MATCH  
HOME (MIN 1/2" THICKNESS)  
MIN 1 HR FIRE RESISTANT RATING W/  
EXPOSURE FROM BOTH SIDES WHEN  
LOCATED LESS THAN 5'-0 FROM  
PROPERTY LINE

2X4 STUDS 16" O.C. WITH CORNER  
BRACING

4" CONC SLAB W/THICKENED SLAB EDGE  
TREATED SILL PLATES, 1/2" DIA. ANCHOR  
BOLTS 72" O.C.

6" PARTITION BLOCK (ONE COURSE)



4 GARAGE REAR ELEVATION  
SCALE: 1/2" = 1'-0" ON 24" x 36"  
1/4" = 1'-0" ON 11" x 17"

**BUILDING Renovation:**  
MARPE DEVELOPMENT  
487 MENDOTA  
St Paul, NE 55106

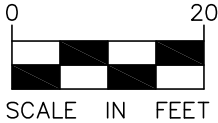
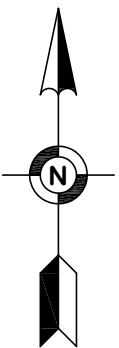
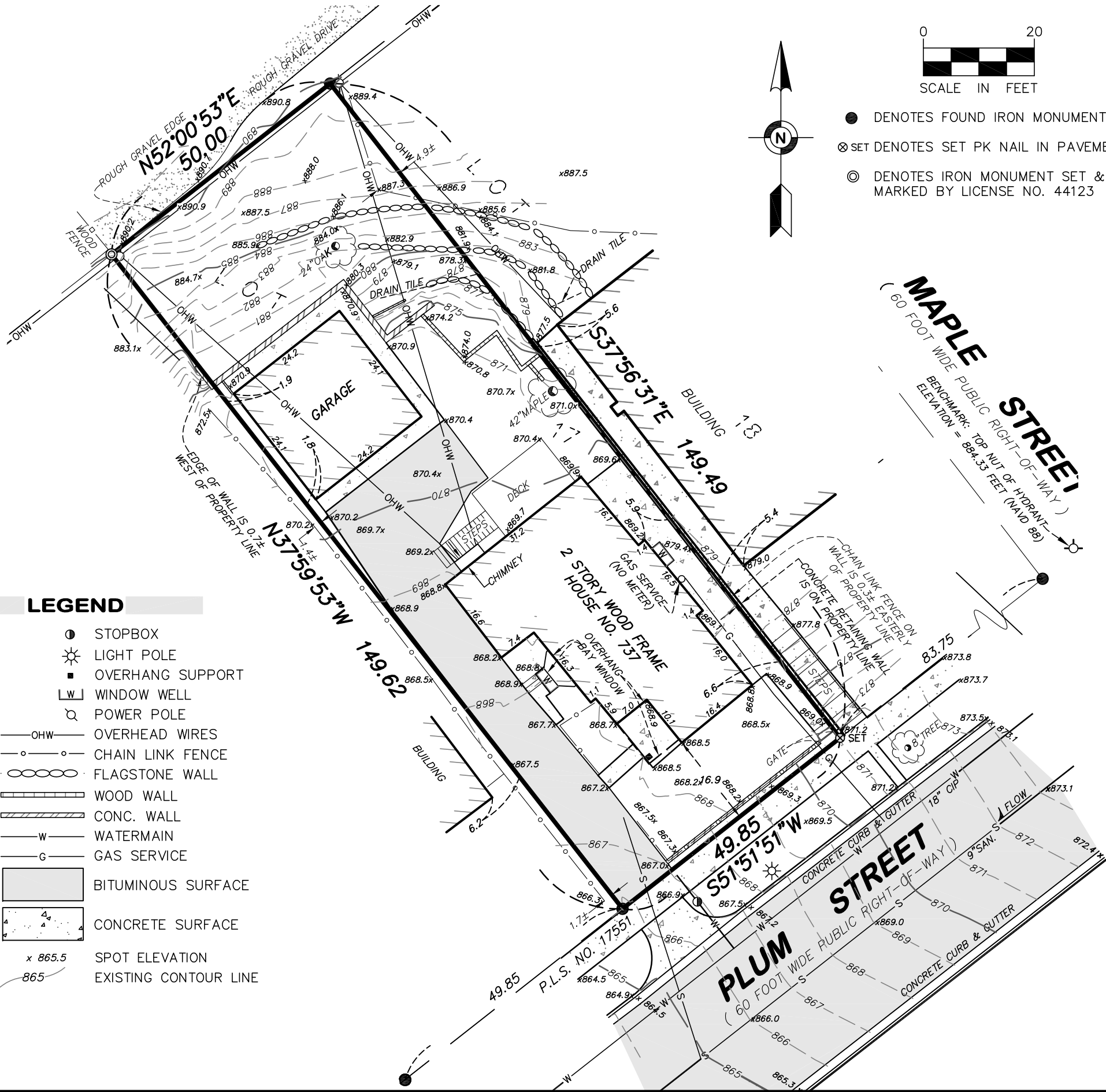
**MARPE**  
DEVELOPMENT

Sheet Number

A6.2

Project No. 660 CASE

CERTIFICATE OF SURVEY FOR:  
HOUSING AND REDEVELOPMENT AUTHORITY OF THE CITY OF SAINT PAUL, MINNESOTA



- DENOTES FOUND IRON MONUMENT
- ⊗ SET DENOTES SET PK NAIL IN PAVEMENT
- ⊙ DENOTES IRON MONUMENT SET & MARKED BY LICENSE NO. 44123

LEGAL DESCRIPTION:

Lot 17, Auditor's Subdivision No. 20, according to the recorded plat thereof, and situate in Ramsey County, Minnesota.

Parcel Number: 33.29.22.32.0152  
Parcel Address: 737 Plum Street

NOTES:

- The orientation of this bearing system is based on the Ramsey County Coordinate Grid, (NAD 83-96 Adj.)
- The area of the property described hereon is 7,467 square feet.
- The legal description and easement information used in the preparation of this survey were based on an Owners Policy prepared by Old Republic National Title Insurance Company, Policy No. OX08002108, having a date of February 22, 2010.
- Visible improvements are shown on the survey. Other improvements not visible to the surveyor may be present.
- BENCHMARK: Minnesota Department of Transportation Control Monument "6283 W". Elevation = 765.769 feet (NAVD 88).
- Existing utilities and services shown hereon, were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher One per ticket No. 122481674. Other utilities and services may be present. Verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.

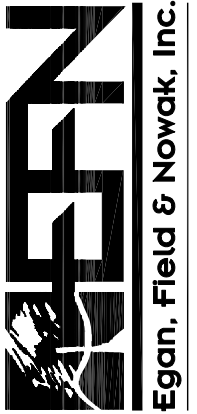
CERTIFICATION:

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 6th day of September, 2012.

*Brent R. Peters*  
Brent R. Peters, P.L.S.  
Minnesota License No. 44123

1229 Tyler Street NE, Suite 100  
Minneapolis, Minnesota 55413  
PHONE: (612) 466-3300  
FAX: (612) 466-3383  
WWW.EFNSURVEY.COM



SURVEY FOR:  
HOUSING & REDEVELOPMENT AUTHORITY  
OF THE CITY OF SAINT PAUL, MINNESOTA  
737 PLUM STREET, SAINT PAUL, MN

FIELD BOOK	PAGE	FIELDWORK CHIEF:	DRAWN BY:	CHECKED BY:
2743	54	S.W.	kgf	B.R.P.
DRAWING NAME: 35342.dwg				
JOB NO. 35342				
FILE NO. 5965				





737 Plum Street south elevation (above) and southwest elevations (below)







Exposed 4" clapboard beneath cement asbestos shingle (above left), west elevation with projecting bay (above right), and blocked-in windows on south elevation (below)







C. 1970 rear addition (above) and garage (below)







Dining Room west projecting bay window (above left), door trim (above right), and view towards front room (below)







Rear addition kitchen (above) and den (below)



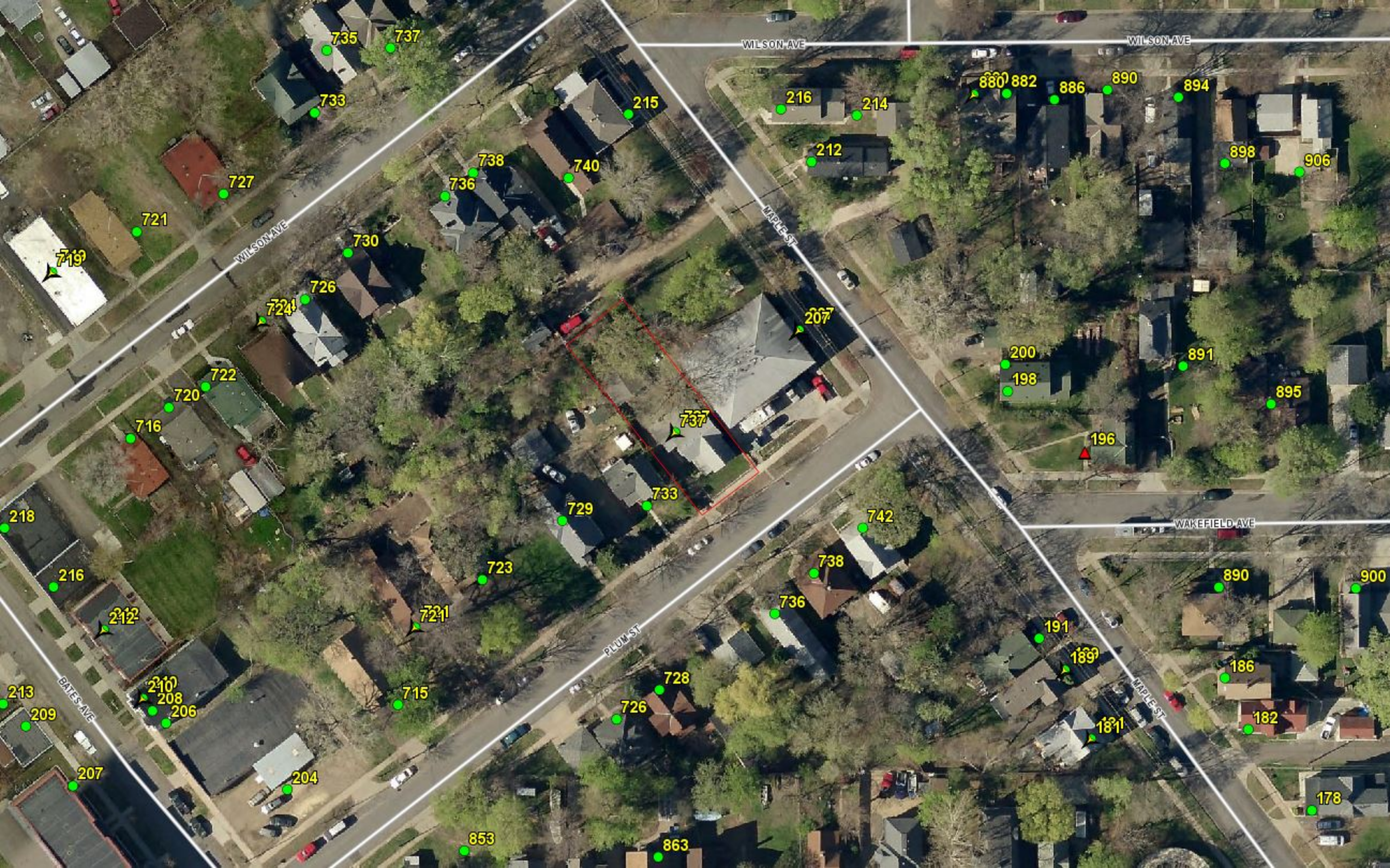




Upstairs hallway (above left), west upstairs bedroom (above right) with dropped ceiling detail, and basement (below)







WILSON AVE

WILSON AVE

WILSON AVE

MAPLE ST

PLUM ST

WAKEFIELD AVE

BATES AVE

MAPLE ST

735

737

733

215

216

214

880

882

886

890

894

898

906

727

738

740

212

721

719

730

724

726

207

722

720

716

737

729

733

200

198

891

895

196

218

216

212

213

209

210

208

206

207

204

715

721

723

728

726

738

736

742

890

900

191

189

181

186

182

178

853

863



HUDSON AV.

WAKEFIELD AV.

HASTINGS AV.

MAPLE

PLUM

HUDSON AV.

BATES AV.

Scale of Feet  
50 100 150

189

18

