

**CITY OF SAINT PAUL
HERITAGE PRESERVATION COMMISSION STAFF REPORT**

FILE NAME: 955 Summit Avenue
DATE OF APPLICATION: 4-2-15 and 4-14-15
APPLICANT: Jerry Quicksell, Quicksell Brothers Builders
OWNER: Shari and Roger Wilsey
DATE OF HEARING: April 23, 2015
HPC SITE/DISTRICT: Hill Heritage Preservation District
CATEGORY: Pivotal
CLASSIFICATION: Building Permit
STAFF INVESTIGATION AND REPORT: Amy Spong
DATE: April 14, 2015

A. SITE DESCRIPTION:

The Carlos N. Boynton House at 955 Summit Avenue was built in 1904 as a mildly Baroque Revival and Jacobethan style residence and designed by Clarence H. Johnston, Sr. The two and one-half story building is sited on a large lot raised from the street grade with a beige pressed brick exterior and a stone water table and accents. The intersecting gabled roof has a newly installed slate roof as it was originally constructed, with parapet endwalls and four rounded arch pedimented dormers. The full-front open porch has a low-sloped metal roof as well as the port cochere on the west elevation and projecting bays. There is a complementary large carriage house at the rear of the lot. The property is categorized as Pivotal within the local, State and National Register Hill Historic Districts.

B. PROPOSED CHANGES:

The applicant is proposing to construct an addition to the rear of the house, but it will project 12 feet beyond the east elevation. Sheet 4 of the drawings indicates what exterior wall portions will be demolished to connect the new addition to the main house. A low sloping gabled roof will intersect with a more steeply pitched (12/12) gable roof with parapet walls. The addition will be used as a one-story however; the volume of the space is more like a two-story space. The footprint of the addition will increase the footprint of the main house by about 50% and the ridge of the addition is at the height of the eave of the main house. The proposed addition measures approximately 33 feet by 46 feet by 25 feet tall.

The brick from the rear that will be removed will be reused on the new elevation that faces Summit Avenue. The stone water table and detailing will match existing and the windows will be Marvin to match those found on the house (which is a variety). The doors on the north (rear) elevation will be custom made with details forthcoming. The roof will be a standing seam copper roof to match the existing porch, bays and port cochere roofs. The back porch, landings and stairs will be concrete with metal railings and the trim will match the main house.

C. GUIDELINE CITATIONS:

Hill Heritage Preservation District Design Review Guidelines

Sec. 74.64. - Restoration and rehabilitation.

(a) *General Principles:* The Historic Hill District design guidelines for restoration and rehabilitation are based on the ten (10) standards for rehabilitation developed by the National Park Service, United States Department of the Interior. In addition to the standards themselves, the pamphlet contains examples of recommended approaches to rehabilitation. The ten (10) standards are as follows:

(1) Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

(2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

(3) All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

(4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right and this significance shall be recognized and respected.

(5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be treated with sensitivity.

(6) Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

(7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

(8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

(9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

(10) Wherever possible, new additions or alterations to structures shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

(f) *Porches and Exterior Architectural Features:*

(4) Deck and firestair additions may be acceptable in some cases, but should be kept to the rear of buildings where they will be the most inconspicuous and detract the least from the historical context. The detailing of decks and exterior stairs should be compatible with the period and style of the building.

(Ord. No. 17815, § 3(II) 4-2-91)

Sec. 74.65. - New construction.

(a) *General Principles:* The basic principle for new construction in the Historic Hill District is to maintain the district's scale and quality of design. The Historic Hill District is architecturally diverse within an overall pattern of harmony and continuity. These guidelines for new construction focus on general rather than specific design elements in order to encourage architectural innovation and quality design while maintaining the harmony and continuity of the district. New construction should be compatible with the size, scale, massing, height, rhythm, setback, color, material, building elements, site design, and character of surrounding structures and the area.

(b) *Massing and Height:* New construction should conform to the massing, volume, height and scale of existing adjacent structures. Typical residential structures in the Historic Hill District are twenty-five (25) to forty (40) feet high. The height of new construction should be no lower than the average height of all buildings on both block faces; measurements should be made from street level to the highest point of the roofs. (This guideline does not supersede the city's zoning code height limitations.)

(c) *Rhythm and Directional Emphasis:* The existence of uniform narrow lots in the Historic Hill District naturally sets up a strong rhythm of buildings to open space. Historically any structure built on more than one (1) lot used vertical facade elements to maintain and vary the overall rhythm of the street rather than interrupting the rhythm with a long monotonous facade. The directional expression of new construction should relate to that of existing adjacent structures.

(d) *Material and Details:*

(1) Variety in the use of architectural materials and details adds to the intimacy and visual delight of the district. But there is also an overall thread of continuity provided by the range of materials commonly used by turn-of-the-century builders and by the way these materials were used. This thread of continuity is threatened by the introduction of new industrial materials and the aggressive exposure of earlier materials such as concrete block, metal framing and glass. The purpose of this section is to encourage the proper use of appropriate materials and details.

(2) The materials and details of new construction should relate to the materials and details of existing nearby buildings.

(3) Preferred roof materials are cedar shingles, slate and tile; asphalt shingles which match the approximate color and texture of the preferred materials are acceptable substitutes. Diagonal and vertical siding are generally unacceptable. Imitative materials such as asphalt siding, wood-textured metal or vinyl siding, artificial stone, and artificial brick veneer should not be used. Smooth four-inch lap vinyl, metal or hardboard siding, when well installed and carefully detailed, may be acceptable in some cases. Materials, including their colors, will be reviewed to determine their appropriate use in relation to the overall design of the structure as well as to surrounding structures.

(4) Color is a significant design element, and paint colors should relate to surrounding structures and the area as well as to the style of the new structure. Building permits are not required for painting and, although the heritage preservation commission may review and comment on paint color, paint color is not subject to commission approval.

(e) *Building Elements:* Individual elements of a building should be integrated into its composition for a balanced and complete design. These elements of new instruction should complement existing adjacent structures as well.

(1) *Roofs:*

- a. There is a great variety of roof treatment in the Historic Hill District, but gable and hip roofs are most common. The skyline or profile of new construction should relate to the predominant roof shape of existing adjacent buildings.
- b. Most houses in the Historic Hill District have a roof pitch of between 9:12 and 12:12 (rise-to-run ratio). Highly visible secondary structure roofs should match the roof pitch of the main structure, and generally should have a rise-to-run ratio of at least 9:12. A roof pitch of at least 8:12 should be used if it is somewhat visible from the street, and a 6:12 pitch may be acceptable in some cases for structures which are not visible from the street.
- c. Roof hardware such as skylights, vents and metal pipe chimneys should not be placed on the front roof plane.

(2) *Windows and doors:*

- a. The proportion, size, rhythm and detailing of windows and doors in new construction should be compatible with that of existing adjacent buildings. Most windows on the Hill have a vertical orientation, with a proportion of between 2:1 and 3:1 (height to width) common. Individual windows can sometimes be square or horizontal if the rest of building conveys the appropriate directional emphasis. Facade openings of the same general size as those in adjacent buildings are encouraged.
- b. Wooden double-hung windows are traditional in the Historic Hill District and should be the first choice when selecting new windows. Paired casement windows, although not historically common, will often prove acceptable because of their vertical orientation. Sliding windows, awning windows, and horizontally oriented muntins are not common in the district and are generally unacceptable. Vertical muntins and muntin grids may be acceptable when compatible with the period and style of the building. Sliding glass doors should not be used where they would be visible from the street.
- c. Although not usually improving the appearance of building, the use of metal windows or doors need not necessarily ruin it. The important thing is that they should look like part of the building and not like raw metal appliances. Appropriately colored or bronze-toned aluminum is acceptable. Mill finish (silver) aluminum should be avoided.

(3) *Porches and decks:*

- a. In general, houses in the Historic Hill District have roofed front porches, while in most modern construction the front porch has disappeared. Front porches provide a transitional zone between open and closed space which unites a building and its site, semiprivate spaces which help to define the spatial hierarchy of the district. They are a consistent visual element in the district and often introduce rhythmic variation, clarify scale or provide vertical facade elements. The porch treatment of new structures should relate to the porch treatment of existing adjacent structure. If a porch is not built, the transition from private to public space should be articulated with some other suitable design element.
- b. Open porches are preferable, but screened or glassed-in porches may be acceptable if well detailed. Most, but not all, porches on the Hill are one (1) story high. Along some streets where a strong continuity of porch size or porch roof line exists, it may be preferable to duplicate these formal elements in new construction. The vertical

elements supporting the porch roof are important. They should carry the visual as well as the actual weight of the porch roof. The spacing of new balustrades should reflect the solid-to-void relationships of adjacent railings and porches. Generally, a solid-to-void proportion between 1:2 and 1:3 is common in the Historic Hill.

c. Decks should be kept to the rear of buildings, should be visually refined, and should be integrated into overall building design. A raised deck protruding from a single wall usually appears disjointed from the total design and is generally unacceptable.

(f) *Site:*

(1) *Setback.* New buildings should be sited at a distance not more than five (5) percent out-of-line from the setback of existing adjacent buildings. Setbacks greater than those of adjacent buildings may be allowed in some cases. Reduced setbacks may be acceptable at corners. This happens quite often in the Historic Hill area and can lend delightful variation to the street.

(2) *Landscaping:*

a. Typically, open space in the Historic Hill District is divided into public, semipublic, semiprivate and private space. The public space of the street and sidewalk is often distinguished from the semipublic space of the front yard by a change in grade, a low hedge or a visually open fence. The buildings, landscaping elements in front yards, and boulevard trees together provide a "wall of enclosure" for the street "room." Generally, landscaping which respects the street as a public room is encouraged. Enclosures which allow visual penetration of semipublic spaces, such as wrought-iron fences, painted picket fences, low hedges or limestone retaining walls, are characteristic of most of the Historic Hill area. This approach to landscaping and fences is encouraged in contrast to complete enclosure of semipublic space by an opaque fence, a tall "weathered wood" fence or tall hedgerows. Cyclone fence should not be used in front yards or in the front half of side yards. Landscape timber should not be used for retaining walls in front yards.

b. For the intimate space of a shallow setback, ground covers and low shrubs will provide more visual interest and require less maintenance than grass. When lots are left vacant as green space or parking area, a visual hole in the street "wall" may result. Landscape treatment can eliminate this potential problem by providing a wall of enclosure for the street. Boulevard trees mark a separation between the automobile corridor and the rest of the streetscape and should be maintained.

(3) *Garages and parking:*

(g) *Public infrastructure:*

(3) Electric, telephone and cable TV lines should be placed underground or along alleys, and meters should be placed where inconspicuous.

(Ord. No. 17815, § 3(III), 4-2-91)

Sec. 74.67. - Demolition.

When reviewing proposals for demolition of structures within the district, the heritage preservation commission refers to Section 73.06(i)(2) of this Code, which states the following:

"In the case of the proposed demolition of a building, prior to approval of said demolition, the commission shall make written findings on the following: the architectural and historical merit

of the building, the effect of the demolition on surrounding buildings, the effect of any proposed new construction on the remainder of the building (in case of partial demolition) and on surrounding buildings, and the economic value or usefulness of the buildings as it now exists or if altered or modified in comparison with the value or usefulness of any proposed structures designated to replace the present building or buildings."

(Ord. No. 17815, § 3(V), 4-2-91)

Secretary of the Interior's Standards for Rehabilitation (1990)

New Additions to Historic Buildings

Recommended:

- Placing functions and services required for the new use in non-character defining interior spaces rather than installing a new addition.
- Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.
- Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.
- Designing new additions in a manner that makes clear what is historic and what is new.
- Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.
- Placing new additions such as balconies and greenhouses on non-character-defining elevations and limiting the size and scale in relationship to the historic building.
- Designing additional stories, when required for the new use that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

Not Recommended:

- Expanding the size of the historic building by constructing a new addition when the new use could be met by altering non-character-defining interior spaces.
- Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.
- Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.
- Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.
- Imitating a historic style or period of architecture in new additions, especially for contemporary uses such as drive-in banks or garages.
- Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.
- Using the same wall plane, roof line, cornice height, materials, siding lap or window type to make additions appear to be a part of the historic building.
- Designing new additions such as multistory greenhouse additions that obscure, damage, or destroy character-defining features of the historic building.
- Constructing additional stories so that the historic appearance of the building is radically changed.

D. FINDINGS:

1. The Carlos N. Boynton House is categorized as Pivotal to the local, State and National Register Hill Historic Districts.
2. On April 2, 1991, the most recent expansion of the Historic Hill Heritage Preservation District was established under Ordinance No. 17815, § 3(II) and states the Heritage Preservation Commission shall protect the architectural character of heritage preservation sites through

Agenda Item III.A.

review and approval or denial of applications for city permits for exterior work within designated heritage preservation sites §73.04.(4).

General Principles:

3. **(74.64 (a)(1))**. The property remains in *its originally intended purpose* as a single family home. The proposal generally *requires minimal alteration of the building, structure, site and its environment*.
4. **(74.64 (a)(2))**. The proposal *will not result in loss of distinguishing original qualities or character of the building*. There will be some impact to the site and environment given the proposed size and volume of the addition. *The removal or alteration of a large portion of the rear elevation and a window avoids removal of distinctive architectural features*. The rear original corner porch remains intact.
5. **(74.64 (a)(9))**. In general, the proposed *design is compatible with the size, scale, color, material and character of the property, neighborhood or environment*. The character of this portion of Summit Avenue is of large lots with a stately, formal feeling (**General**). The character of the main house is boxy yet there are projections and variations in the elevations (**General and Site**). The footprint does increase the existing footprint by about 50% and the volume of the addition is large but does not overwhelm or diminish the significance of the main house (**Massing and Scale**). The projection to the east by 12 feet will be visible from Summit Avenue given the larger side yard (**Rhythm and Direction Emphasis**). The addition's steep roof corresponds to the main house roof in style but will not be slate but copper (**Building Elements and Materials**). The paired, double-hung windows are found elsewhere on the house and the doors will face the interior of the property and not be visible (**Building Element and Materials**). The raised concrete patio at the rear appears integrated into the new addition and will not be visible from Summit Avenue (**Building Elements and Materials**).
6. **(74.64 (a)(10))**. The addition is proposed in a manner that if it were removed in the future, *the essential form and integrity of the structure would be unimpaired*. The proposal does not duplicate the exact form and massing of the main house but using the same or similar materials and detailing found on the main house creates compatibility. The new addition extends at the same wall plane of the east elevation of the house. Generally, preserving the corner of the main house or somehow distinguishing the old from the new is encouraged. This may be accomplished by adding a reveal or adding a design element, such as using a brick pattern.
7. **Secretary of the Interior's Standards**. The guidelines state "*Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building*" is preferred. The addition is proposed on the rear, secondary elevation.
8. The proposal to remove a portion of the rear elevation and construct a new addition will not adversely affect the Program for the Preservation and architectural control of the Historic Hill Heritage Preservation District (Leg. Code §73.06 (e)) provided the conditions are met.

E. STAFF RECOMMENDATION:

Based on the findings staff recommends approval of the building permit application provided the following conditions be met:

1. All final materials, colors and products specifications shall be submitted to staff for final review and approval. Brick, stone and mortar mockups shall be provided on site and staff shall be called to a site visit for final approval.
2. The alley behind the house is historic brick. The contractor shall photo document the condition of the alley prior to the start of construction and shall protect the alley during the construction period. If there are any damages from construction equipment, the applicant shall make the necessary repairs and work with HPC and Public Works staff.
3. A full size copy of the final construction plans submitted to the Department of Safety and Inspections for city permits shall be submitted to HPC staff. The applicant shall include a brief

description of any changes or new information since the HPC reviewed and approved plans.

4. The HPC stamped approved construction level plans shall remain onsite for the duration of the project.
5. Any changes or revisions to the approved HPC plans and city permits shall be submitted to the HPC and/or staff for review and approval.

G. ATTACHMENTS:

1. Application, photos and plans
2. Sanborn Map

For further reference on appropriate new additions to historic buildings consult: Preservation Brief #14 at <http://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>



Saint Paul Heritage Preservation Commission
Department of Planning and Economic Development
25 Fourth Street West, Suite 1400
Saint Paul, MN 55102
Phone: (651) 266-9078

HERITAGE PRESERVATION COMMISSION DESIGN REVIEW APPLICATION

This application must be completed in addition to the appropriate city permit application if the affected property is an individually designated landmark or located within an historic district. For applications that must be reviewed by the Heritage Preservation Commission refer to the HPC Meeting schedule for meeting dates and deadlines.

1. CATEGORY

Please check the category that best describes the proposed work

- | | | |
|--|---|--|
| <input type="checkbox"/> Repair/Rehabilitation | <input type="checkbox"/> Sign/Awning | <input checked="" type="checkbox"/> New Construction/Addition/
Alteration |
| <input type="checkbox"/> Moving | <input type="checkbox"/> Fence/Retaining Wall | <input type="checkbox"/> Pre-Application Review Only |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Other _____ | |

2. PROJECT ADDRESS

Street and number: 955 Summit Ave. Zip Code: 55105

3. APPLICANT INFORMATION

Name of contact person: Jerry Quicksell
Company: Quicksell Brothers Builders
Street and number: 1509 Fairmount Ave.
City: St. Paul State: MN Zip Code: 55105
Phone number: (651) 329-3257 e-mail: jerryquicksell@yahoo.com

4. PROPERTY OWNER(S) INFORMATION (If different from applicant)

Name: Shari & Roger Wilsey
Street and number: 955 Summit Ave
City: Saint Paul State: MN Zip Code: 55105
Phone number: (651) 227-1883 e-mail: wilseyrs@gmail.com

5. PROJECT ARCHITECT (If applicable)

Contact person: James Hvidsten

Company: James Hvidsten Design

Street and number: 2320 Como Ave

City: Saint Paul State: MN Zip Code: 55108

Phone number: (612) 919-7517 e-mail: james.hvidsten@gmail.com

6. PROJECT DESCRIPTION

Completely describe ALL exterior changes being proposed for the property. Include changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.

Windows will match existing windows on the East and West side. They will be Marvin, the North windows and doors will be custom made. We will work with staff on details. Brick from rear that is removed will be reused on Summit View, the stone will match the existing on the house. The roof will be standing seam copper, copper gutters. Back porch and landings and stairs will be concrete. Iron rails on back

Attach additional sheets if necessary

Trim will match main house and paint will match as well.

7. ATTACHMENTS

Refer to the *Design Review Process sheet* for required information or attachments.
****INCOMPLETE APPLICATIONS WILL BE RETURNED****

ARE THE NECESSARY ATTACHMENTS AND INFORMATION INCLUDED?

YES

Will any federal money be used in this project?
Are you applying for the Investment Tax Credits?

YES _____ NO X
YES _____ NO X

I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant: [Signature] Date: 4/1/15

Signature of owner: [Signature] Date: 4-1-2015

FOR HPC OFFICE USE ONLY

Date received: April 2, 2015 FILE NO. _____
Date complete: addl mt. 4-14-15
District: Hill /Individual Site: _____
Pivotal/Contributing/Non-contributing/New Construction/Parcel:
Type of work: Minor/Moderate/Major

____ Requires staff review

X Requires Commission review

Supporting data: YES NO
Complete application: YES NO

The following condition(s) must be met in order for application to conform to preservation program:

It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch.73.06).

HPC staff approval
Date _____

Submitted:

- 3 Sets of Plans
- 15 Sets of Plans reduced to 8 1/2" by 11" or 11" by 17"
- Photographs
- CD of Plans (pdf) & Photos (jpg)
- City Permit Application
- Complete HPC Design Review application

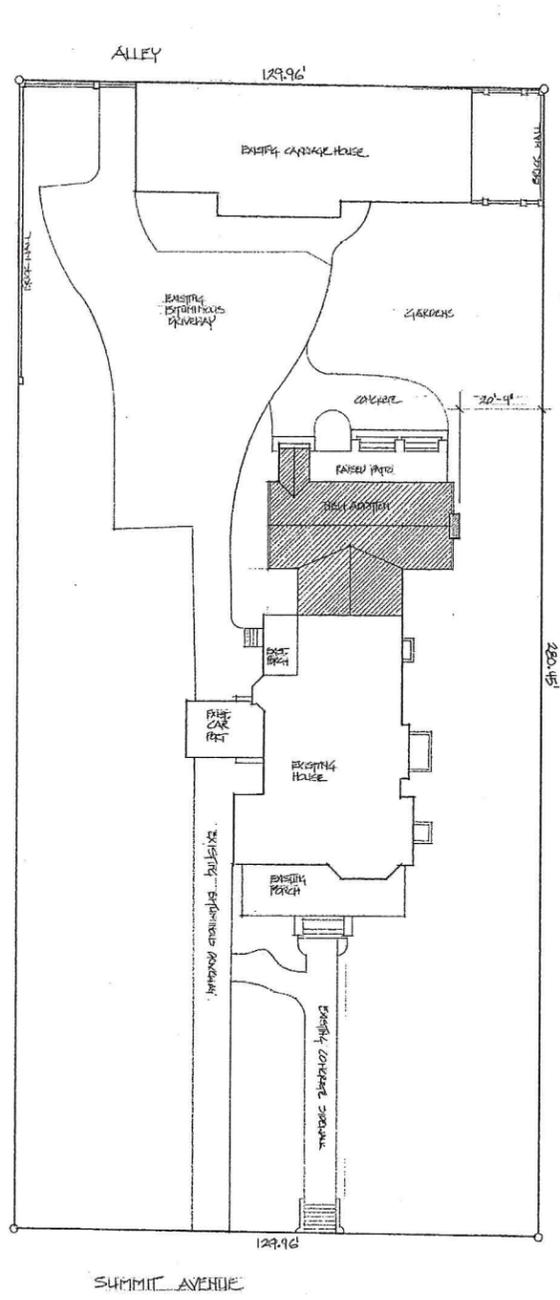
Hearing Date set for: 4-23-15

not yet submitted

City Permit # _____ - _____







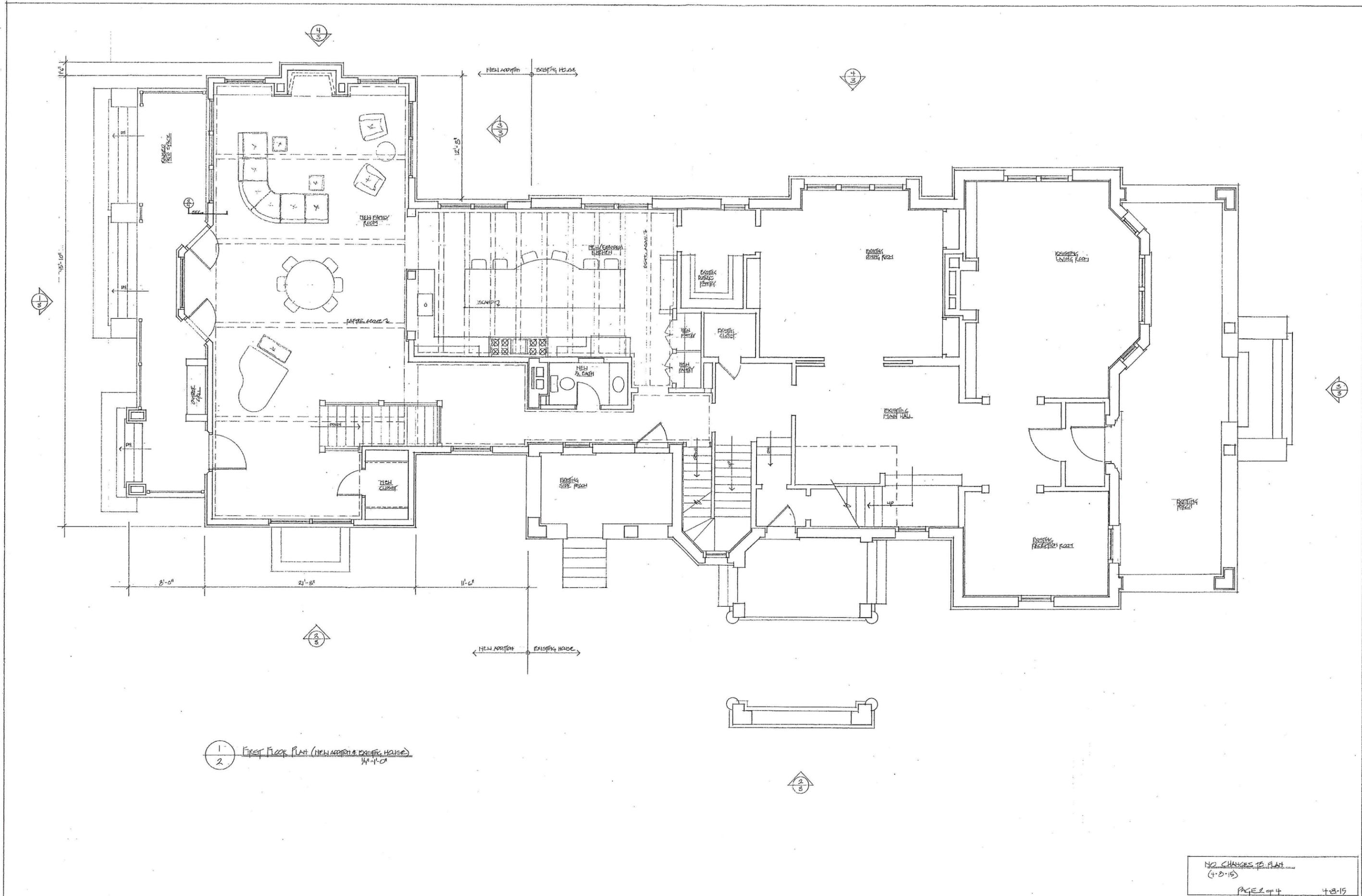
1 1
SITE PLAN
1" = 20'-0"

JAMES HILDEBRAND DESIGN

HOUSE ADDITION FOR: SHARI & ROGER WILSEY
955 SUMMIT AVENUE
ST. PAUL, MN 55105

LOT LEGAL DESCRIPTION: LOTS 20, 21 & 22 PLUS THE WEST 10 FEET OF LOT 23, BLOCK 2B, SUMMIT PARK ADDITION OVERLAY - HPL-HILL

NO. CHANGES TO SITE PLAN (4-8-15)
PAGE 1 OF 4 4-8-15



1-2 FIRST FLOOR PLAN (NEW ADDITION & EXISTING HOUSE)
1/8" = 1'-0"



1 NORTH ELEVATION
18'-11"



2 WEST ELEVATION
18'-11"

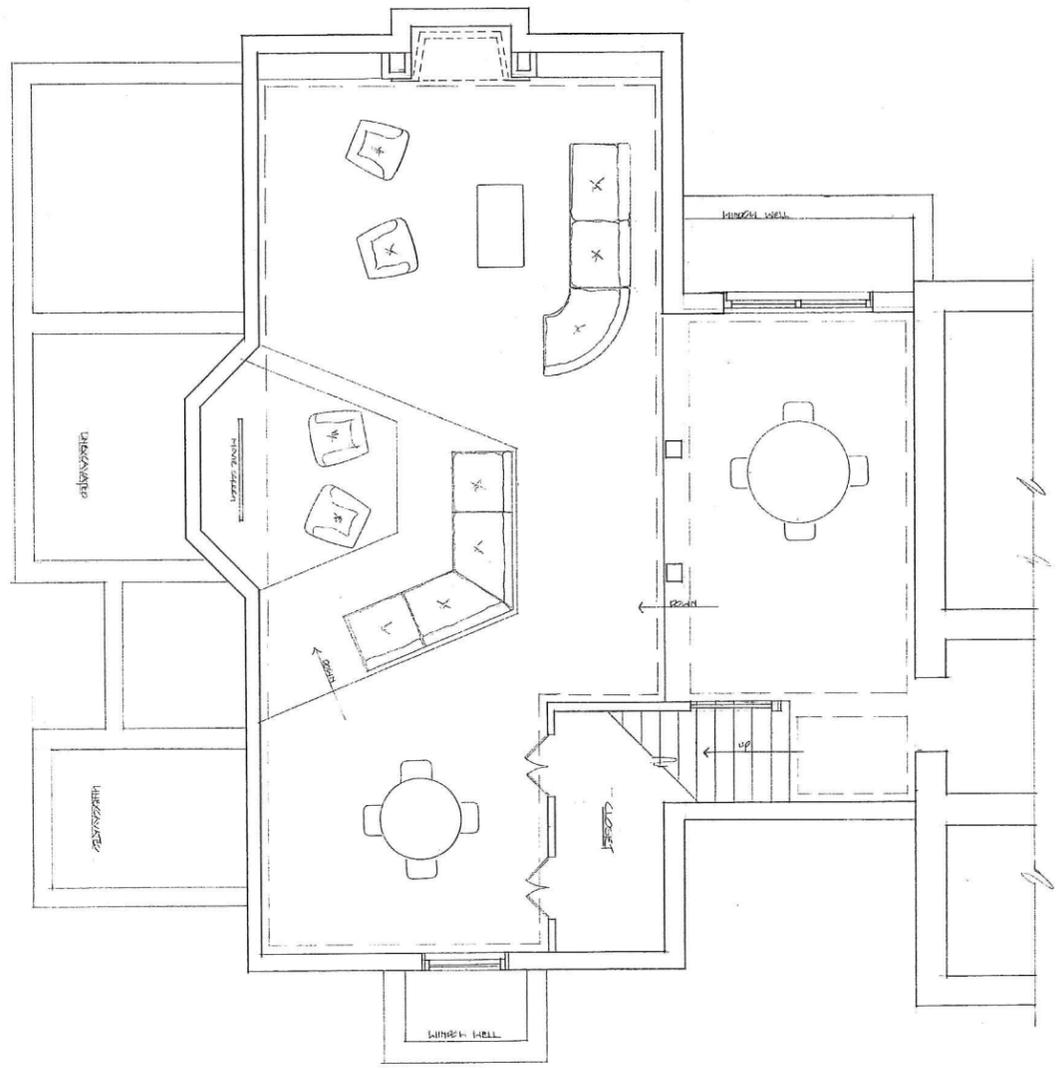
NOTE:
 ALL NEW EXTERIOR FINISHES TO MATCH EXISTING.
 INCLUDES:
 BRICK
 BRICK COLUMNS & COLUMN CAPITALS
 CORNER STONES
 CORNER TIES
 CORNER WORK
 CHIMNEY WORK
 WINDOW FRAMES STONEWORK
 COFFERS
 EXCEPTION: NEW ROOF TO BE COPPER STANDING SEAM (SIMILAR TO EXISTING FRONT PORCH)



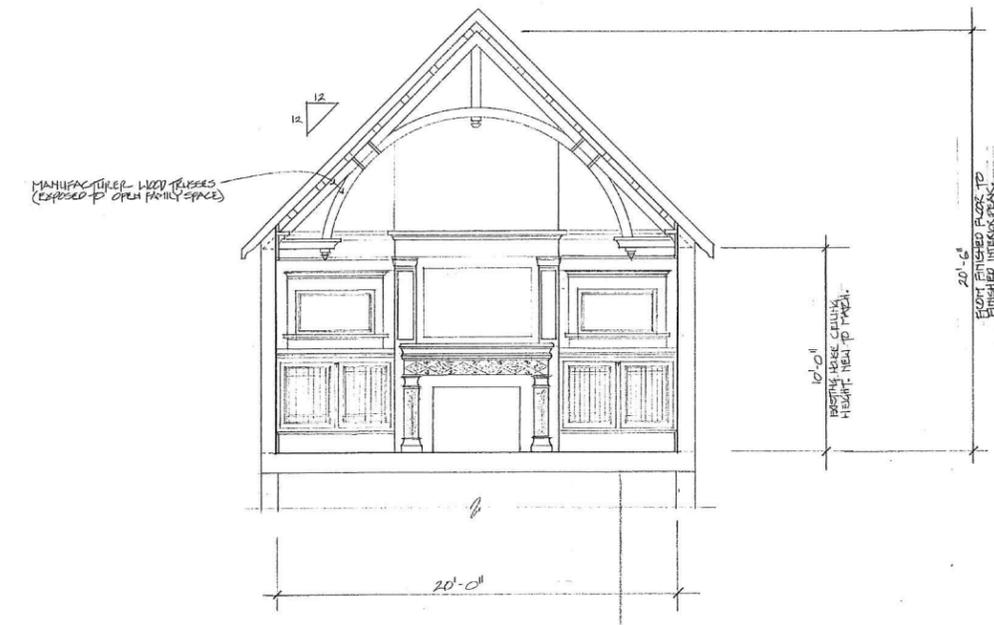
3 SOUTH ELEVATION
16'-11"



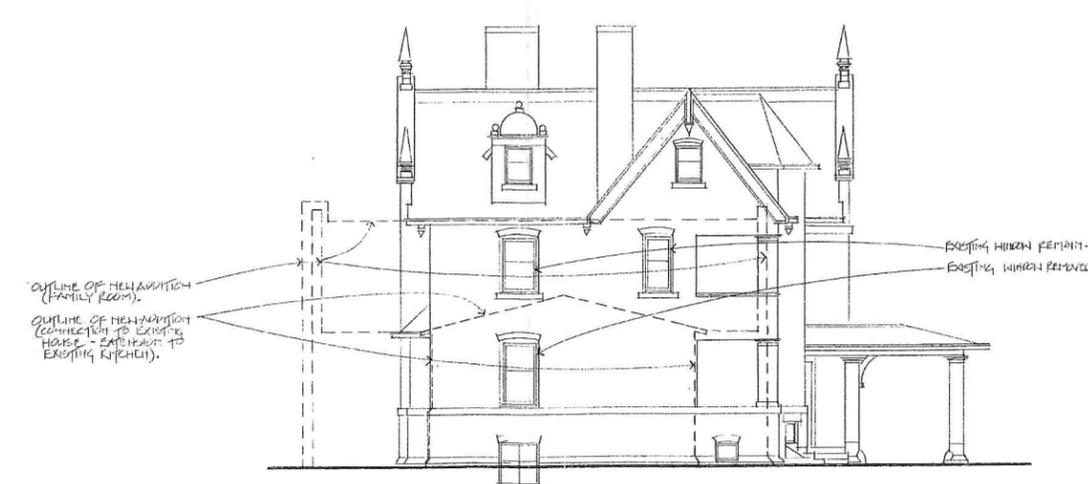
4 EAST ELEVATION
18'-11"



1 FLOOR PLAN (LOWER LEVEL)
 1/4" = 1'-0"

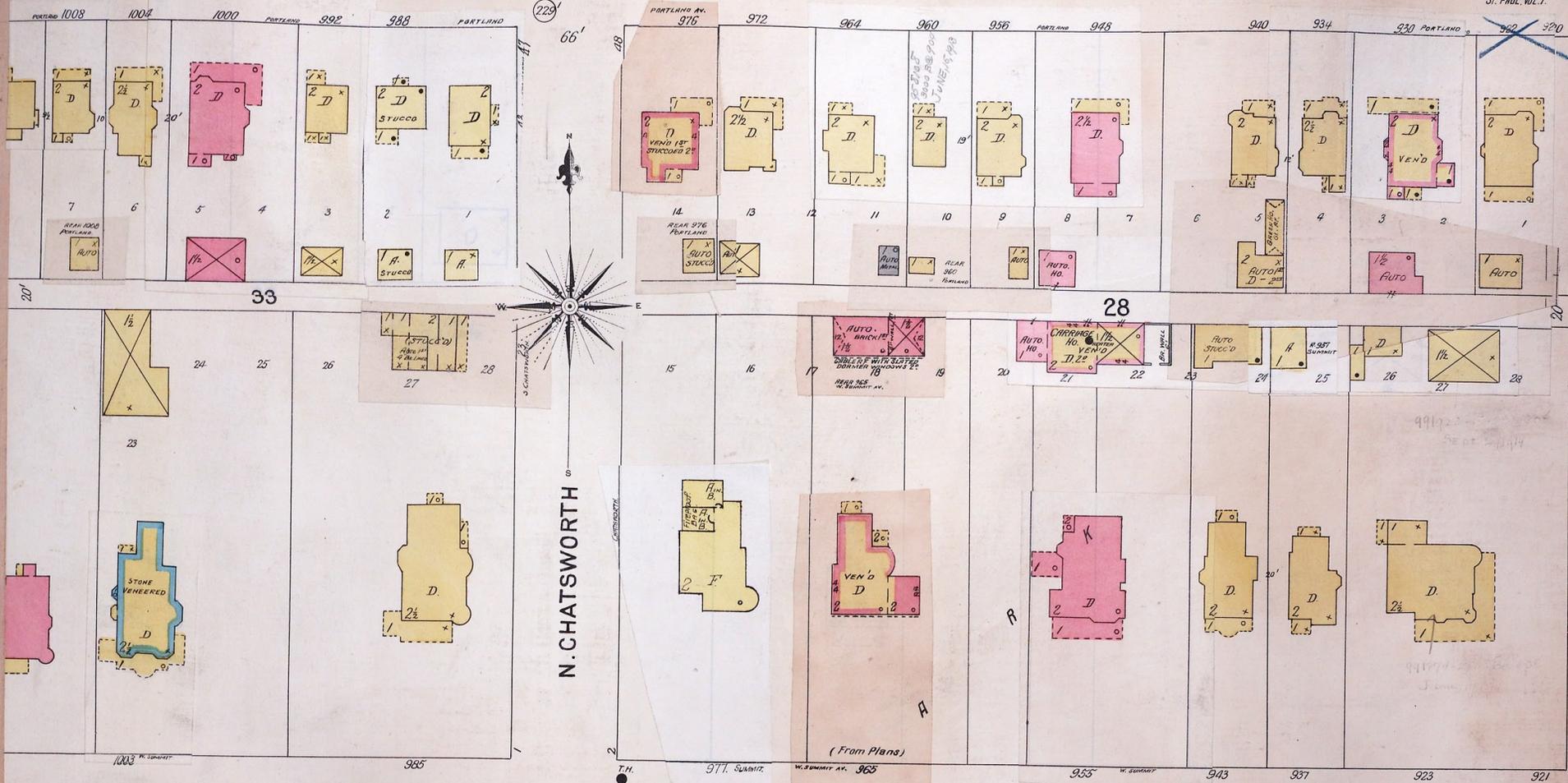


2 VAULTED FAMILY ROOM (CROSS SECTION)
 1/4" = 1'-0"

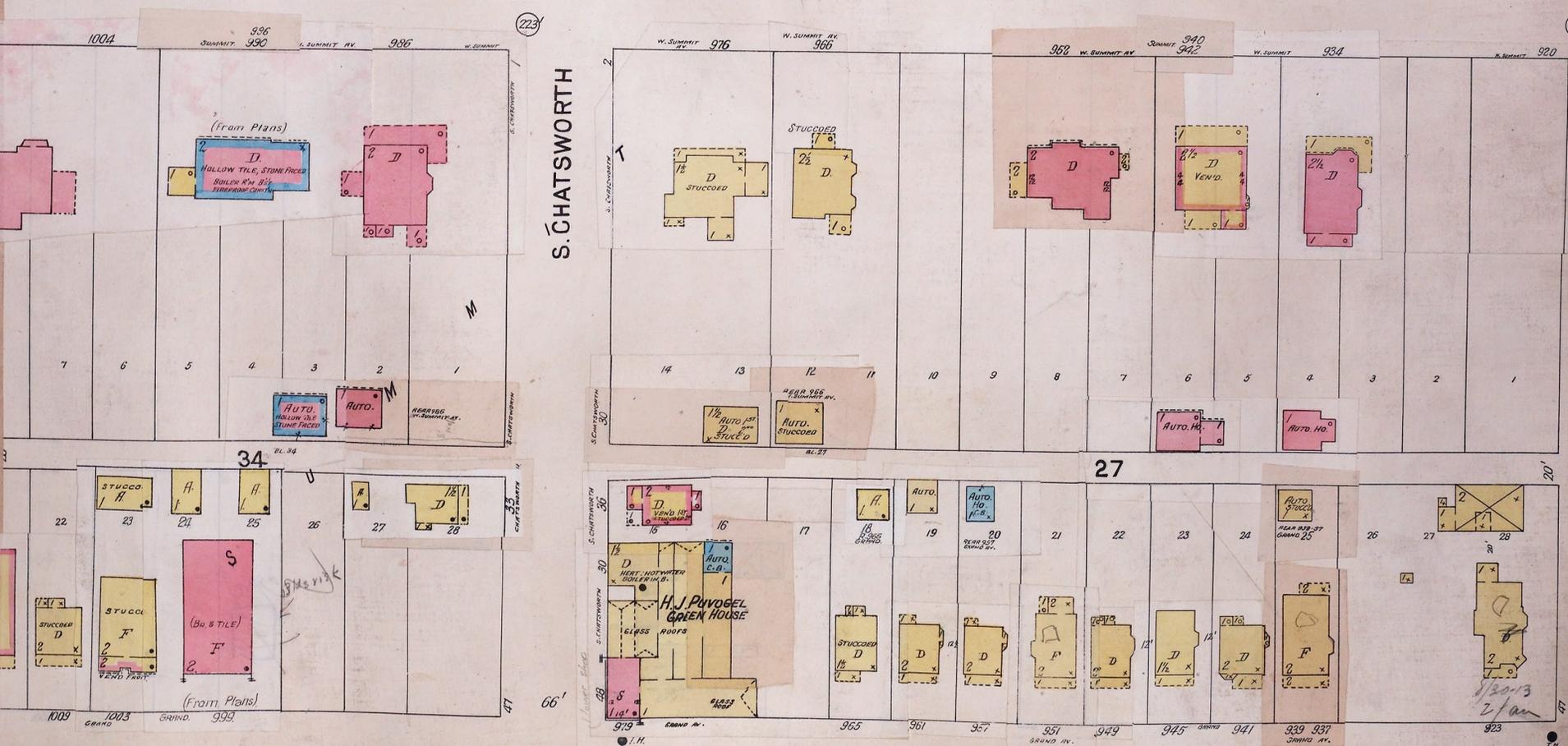


3 EXISTING REAR (NORTH) ELEVATION
 1/8" = 1'-0"
 OUTLINE OF NEW ADDITION CONNECTION TO EXISTING HOUSE (KITCHEN).
 OUTLINE OF NEW ADDITION (FAMILY ROOM).

PORTLAND AV. 6" W.P.



W. SUMMIT AV. 12" W.P.



GRAND AV. 6" W.P.