







1. ALL TEMPORARY EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY REMOVAL WORK AND MUST BE MAINTAINED UNTIL PERMANENT EROSION CONTROL MEASURES HAVE BEEN COMPLETELY IMPLEMENTED AND ESTABLISHED.
2. INSTALL SILT FENCING AROUND THE PERIMETER OF THE LIMITS OF WORK AND MAINTAIN UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED. ALL SILT FENCING MUST HAVE ORANGE GEOTEXTILE FABRIC WITH STEEL POSTS. MACHINING SLICING OF SILT FENCE AROUND OR UNDER TREES WILL NOT BE PERMITTED. SILT FENCE AROUND OR UNDER TREES MUST BE HAND PLACED AND FASTENED TO THE GROUND WITH STAPLES.
3. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE EROSION CONTROL REQUIREMENTS OF THE SITE AND FOR INSTALLING AND MAINTAINING EROSION CONTROL MEASURES WHERE NEEDED, EVEN IF THEY ARE NOT INDICATED ON THE DRAWINGS.
4. INLET PROTECTION (SILT FENCE BARRICADES, SILT SACKS, RISER PIPES, OR FILTER FABRIC AND GRAVEL) MUST BE INSTALLED IN ALL EXISTING AFFECTED CATCH BASINS PRIOR TO ANY REMOVAL WORK AND IN ALL NEW CATCH BASINS IMMEDIATELY AFTER CATCH BASIN INSTALLATION.
5. ADJACENT STREETS, ALLEYS, AND PROPERTIES MUST BE SWEEP TO KEEP THEM FREE OF SEDIMENT AND MATERIALS TRACKED, BLOWN, OR WASHED FROM THE SITE. CONTRACTOR MUST MONITOR CONDITIONS AND SWEEP AS NEEDED OR WHENEVER NOTICE OF THE LANDSCAPE ARCHITECT. SWEEPING IS INCIDENTAL TO THE PROJECT.
6. CONTRACTOR MUST MAINTAIN DUST CONTROL FOR THE SITE AT ALL TIMES AND PROVIDE WATERING TRUCKS AS NEEDED OR WITHIN 24 HOURS NOTICE BY THE LANDSCAPE ARCHITECT. DUST CONTROL IS INCIDENTAL TO THE PROJECT.
7. WHERE DISTURBED SOILS WILL LAY EXPOSED FOR MORE THAN 21 DAYS, THE CONTRACTOR MUST SEED WITH A TEMPORARY COVER CROP TO PREVENT EROSION. TEMPORARY SEED MIX MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. TEMPORARY SEEDING IS INCIDENTAL TO THE PROJECT.
8. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SECURING THE SITE AND PROVIDING PROTECTION FROM THE WORK FOR THE PUBLIC. ALL OPEN EXCAVATIONS AND OTHER HAZARDS MUST BE FENCED.
9. THE RELOCATION AND/OR PROTECTION OF ALL EXISTING UTILITIES MUST BE COORDINATED BY THE CONTRACTOR AND ANY COSTS FOR SUCH WORK WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR EXTRA TIME AND EFFORT OR PROVISIONS NECESSARY TO WORK AROUND ANY UTILITIES.

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signature: 

license no: XX      date: XX-XX-XX

rev no.	date	description
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4	11 13 2014	HPC FORMAL REVIEW REVISION
3	10 02 2014	HPC FORMAL REVIEW
2	09 22 2014	SITE PLAN REVIEW REVISION
1	08 19 2014	SITE PLAN REVIEW

project: IRVINE RESIDENC

date: 11 13 2014

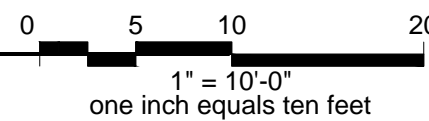
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drawn by: WJ

sheet title

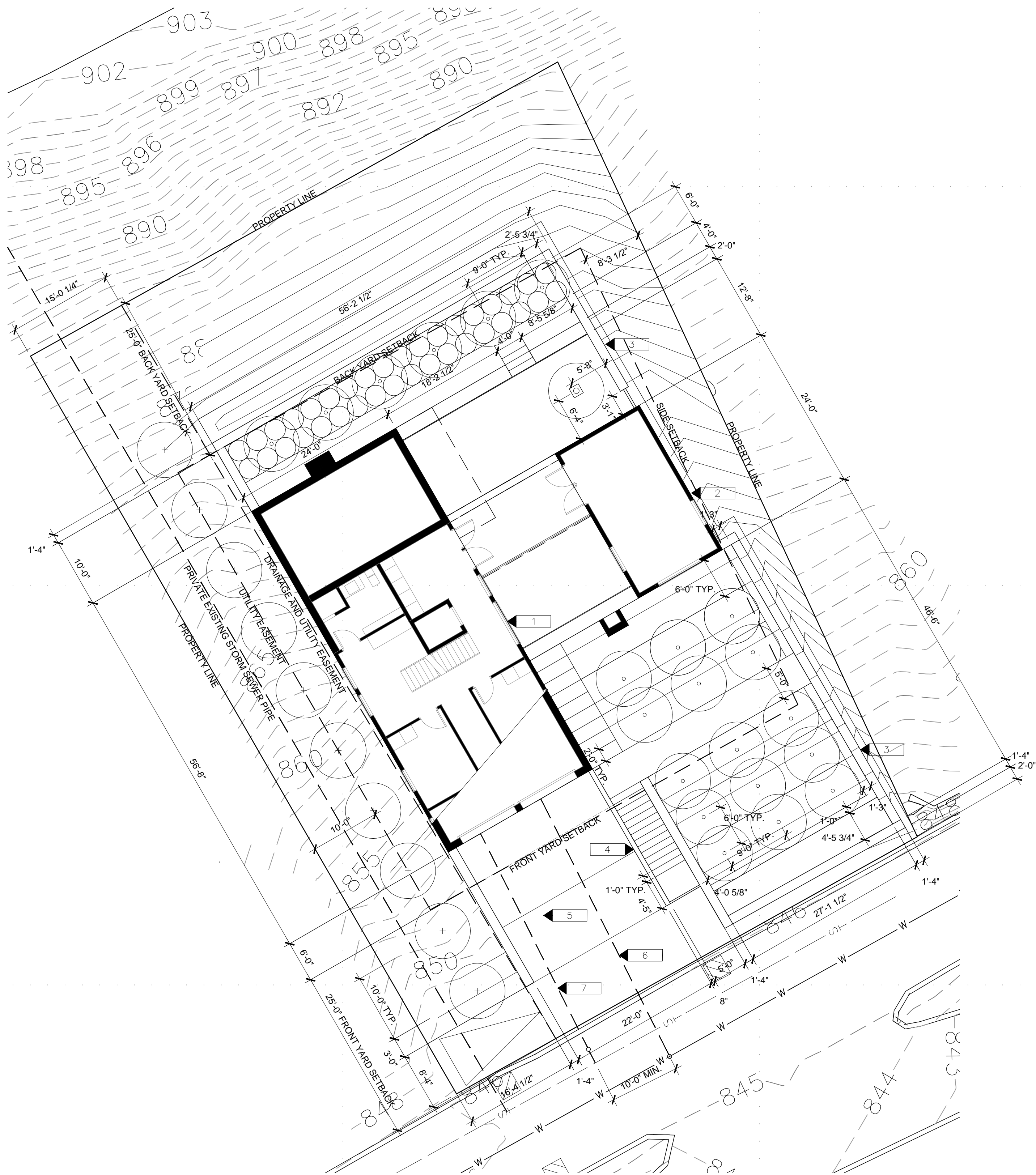
## EXISTING CONDITIONS / REMOVALS

sheet number



SITE LAYOUT PLAN

Scale: 1" = 10'-0"



- 1 PROPOSED PRIMARY STRUCTURE; WOOD FRAME
- 2 PROPOSED CARRIAGE HOUSE; WOOD FRAME
- 3 RETAINING WALL, TYP., MASONRY
- 4 ENTRY FENCE AND GATE
- 5 DRIVEWAY
- 6 CONNECTION TO WATER LINE, 2" PVC
- 7 CONNECTION TO SEWER LINE, 6" PVC

SITE AREA: 9992 SQFT  
BUILDING COVERAGE: 18.4%  
IMPERVIOUS COVERAGE: 41.9%

UTILITY NOTES

INSPECTION CONTACT:

The developer shall contact the Right of Way inspector *Long Yang*, (651) 485-4398 (one week prior to beginning work) to discuss traffic control, pedestrian safety and coordination of all work in the public right of way. *Note: If a one week notice is not provided to the City, any resulting delays shall be the sole responsibility of the Contractor.*

SAFE WORK SITE REQUIREMENTS:

The Contractor shall provide a continuous, accessible and safe pedestrian walkway that meets ADA and MN MUTCD standards if working in a sidewalk area, and traffic control per MN MUTCD requirements for work in the public right of way.

NO PRIVATE FACILITIES IN THE RIGHT OF WAY:

The developer is strictly prohibited from installing private electrical wiring, conduit, receptacles and/or lighting in the City's Right of Way. This includes stubbing conduit or cable into the public right of way to accommodate utility feeds to the site. Coordinate with each utility prior to construction to determine feed points into the property. Utilities are responsible for securing excavation permits to run their service into a site, and (where required) submitting plans for review by the Public Works Utility Review Committee.

CITY OF ST. PAUL PERMIT REQUIREMENTS:

ORDERING OBSTRUCTION AND EXCAVATION PERMITS:

Contact Public Works Right of Way Service Desk at (651) 266-6151. It is strongly recommended that contractors call for cost estimates prior to bidding to obtain accurate cost estimates.

OBSTRUCTION PERMITS:

The contractor must obtain an Obstruction Permit if construction (including silt fences) will block City streets, sidewalks or alleys, or if driving over curbs.

EXCAVATION PERMITS:

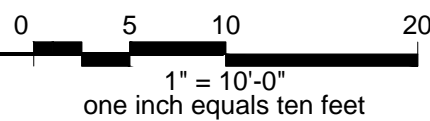
All digging in the public right of way requires an Excavation Permit. If the proposed building is close to the right of way, and excavating into the right of way is needed to facilitate construction, contact the utility inspector.

FAILURE TO SECURE PERMITS:

Failure to secure Obstruction Permits or Excavation Permits will result in a double-permit fee and other fees required under City of St. Paul Legislative Codes.

REQUIREMENTS TO WORK IN THE PUBLIC RIGHT OF WAY:

All utilities and contractors working in the public right of way must be registered.



IRVINE RESIDENCE

HPC FORMAL REVIEW

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HPC FORMAL REVIEW

project: IRVINE RESIDENCE

date: 11 13 2014

scale: AS SHOWN

drawn by: WJ

sheet title

SITE LAYOUT PLAN

L100

sheet number

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Dr. A. A.

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3 10 02 2014 HPC FORMAL REVIEW

2 09 22 2014 SITE PLAN REVIEW R

1 08.19.2014 SITE PLAN REVIEW

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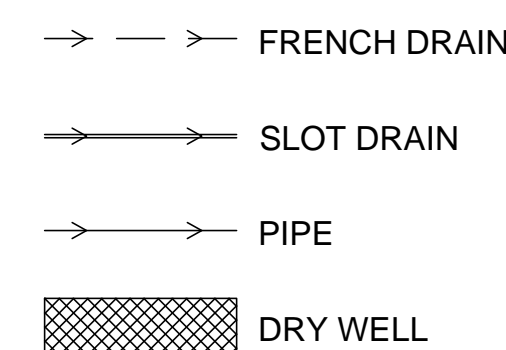
drawn by: WJ

sheet title

## GRADING AND DRAINAGE PLAN

sheet number

1. PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AT ALL TIMES.
2. ALL DESIGN CONTOURS AND PROPOSED ELEVATIONS INDICATED ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL ACCOUNT FOR ALL IMPORTED SURFACE AND PLANTING MATERIALS IN DETERMINING EARTHWORK REQUIREMENTS.
4. GRADING OPERATIONS MUST MINIMIZE THE POTENTIAL FOR EROSION.
5. NO GRADING, STOCKPILING OF MATERIALS, OR STAGING IS PERMITTED OUTSIDE THE LIMITS OF WORK.
6. PRIOR TO ROUGH GRADING THE SITE, THE CONTRACTOR MUST REMOVE ALL TOPSOIL IN AREAS TO BE DISTURBED AND STOCKPILE ON SITE FOR FUTURE USE. EXCESS TOPSOIL MUST BE REMOVED FROM THE SITE AFTER FINISH GRADING AT THE CONTRACTOR'S EXPENSE.
7. THE EARTHWORK FOR THE SITE IS ANTICIPATED TO PRODUCE AN EXCESS OF MATERIAL. THE CONTRACTOR MUST REMOVE ALL EXCESS MATERIAL FROM THE SITE AND DISPOSE OF IT AT THE CONTRACTOR'S EXPENSE.
8. NO TOPSOIL SHALL BE REMOVED FROM RESTORATION AREAS WITHOUT APPROVAL FROM THE LANDSCAPE ARCHITECT AND RESTORATION CONTRACTOR.
9. TOPSOIL COMPACTED BY CONSTRUCTION TRAFFIC IN RESTORATION AREAS SHALL BE LOOSENEED UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT AND RESTORATION CONTRACTOR.



NORTH

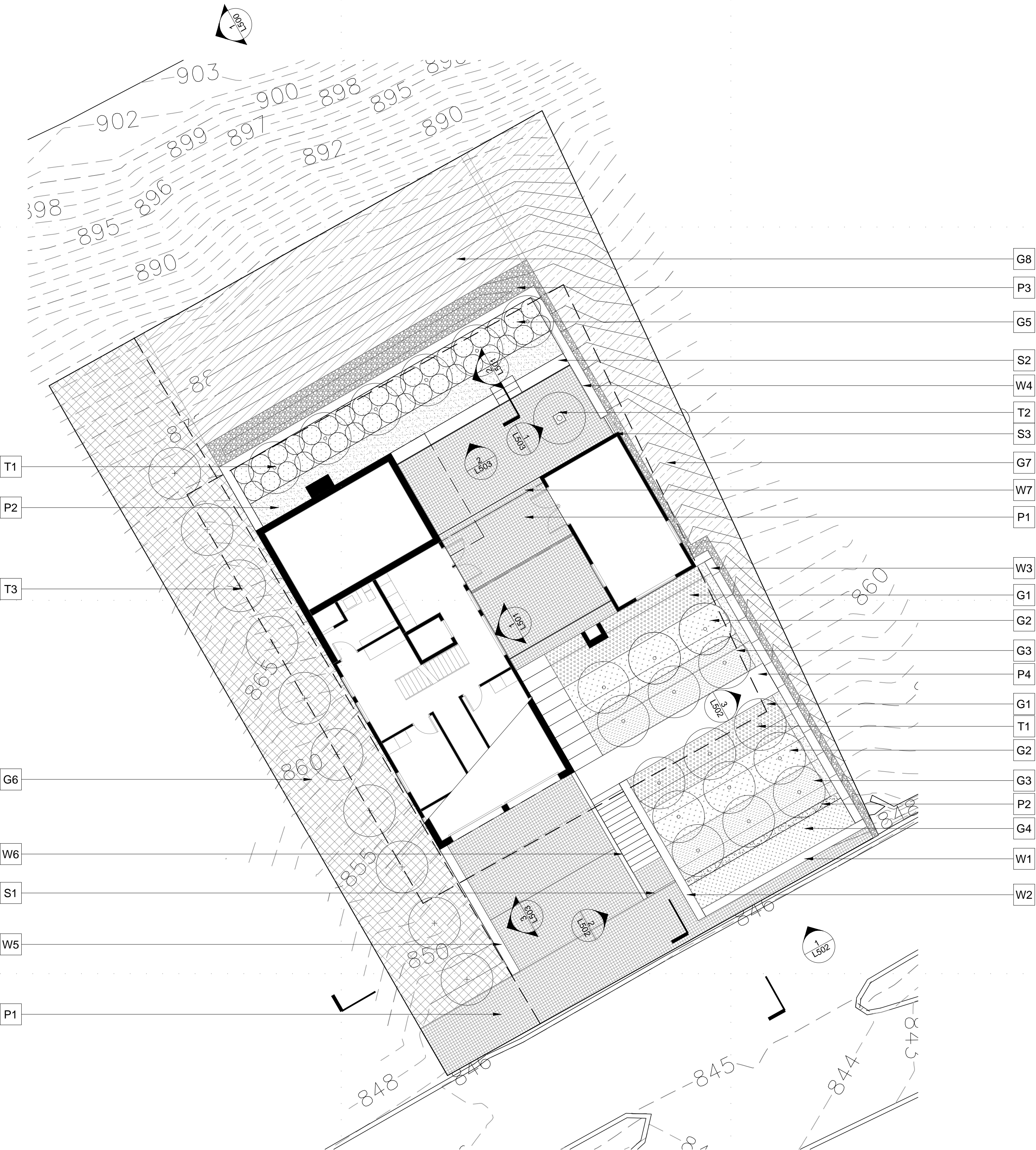
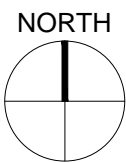
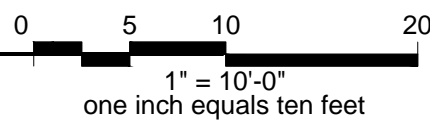
A circular compass rose with a vertical line and a horizontal line intersecting at the center. The top of the vertical line is labeled 'NORTH'. The bottom of the vertical line is labeled 'SOUTH'. The right end of the horizontal line is labeled 'EAST'. The left end of the horizontal line is labeled 'WEST'.

Scale: 1" = 10'-0"



1 LANDSCAPE PLAN

Scale: 1" = 10'-0"



PLANTINGS - TREES

KEY	SPECIES	SIZE	QTY	COMMENTS
T1	<i>Betula nigra</i> River Birch	2 1/2" BB	21	Single stem. Trees must be full form and maturing. Landscape Architect to approve trees prior to delivery to site.
T2	Flowering Ornamental Tree	Specimen	1	Specimen tree to be selected by Landscape Architect. Trees must be full form and maturing. Landscape Architect to approve trees prior to delivery to site.
T3	<i>Pinus strobus</i> White Pine	10'	10	Trees must be full form and maturing. Landscape Architect to approve trees prior to delivery to site.

PLANTINGS - SHRUBS AND PERENNIALS

KEY	SPECIES	SIZE	QTY	COMMENTS
G1	<i>Galium odoratum</i> Sweet Woodruff	6 PK	310	Plant 12" O.C. in grid pattern.
G2	<i>Astilbe japonica</i> 'Deutschland' Astilbe	#1 container	136	Plant 18" O.C. in grid pattern.
G3	<i>Fern adiantum pedatum</i> Northern Maidenhair Fern	#1 container	310	Plant 12" O.C. in grid pattern.
G4	<i>Liatris spicata</i> 'Floristan White' Liatris Floristan White	#1 container	51	Plant 18" O.C. in grid pattern.
G5	<i>Hydrangea arborescens</i> 'Annabelle' Hydrangea	#5 container	36	Plant 36" O.C. in grid pattern.
G6	Shady Woodland Seed Mix by Prairie Moon		1874 sqft	Seeded over erosion control blanket for slope stabilization
G7	Mixed Height Prairie Seed Mix by Prairie Moon		840 sqft	Seeded over erosion control blanket for slope stabilization
G8	<i>Vaccinium angustifolium</i> Lowbush Blueberry	#1 container	275	Plant 24" O.C. in grid pattern.

WALL

KEY	DESCRIPTION	COMMENTS
W1	Concrete Retaining Wall	Front yard, parallel to street. Refer to L600/1 for detail.
W2	Concrete Retaining Wall	Front yard, east of entry stairs. Refer to L600/2 for detail.
W3	Concrete Retaining Wall	Front yard, east of entry garden. Refer to L600/3 for detail.
W4	Concrete Retaining Wall	Back yard. Refer to L600/4 for detail.
W5	Concrete Retaining Wall	West of driveway. Refer to L600/5 for detail.
W6	Perforated Metal Wall	West of entry stairs. Refer to L600/2 for detail.
W7	Metal Wall	Main entry court. Refer to L600/6 for detail.

SITE ELEMENTS

KEY	DESCRIPTION	COMMENTS
S1	Perforated Metal Gate	Front entry. Refer to L502/1 for elevation.
S2	Concrete Bench	Back yard. Refer to L600/7 for detail.
S3	Perforated Metal Gate	Back yard. Refer to L503/1 for elevation.

SURFACING

KEY	DESCRIPTION	COMMENTS
P1	Concrete cobble pavers, limestone grey, 4"x4"	Front yard, entry court, back yard
P2	Aggregate	Back yard, front yard planting maintenance strip
P3	Beach pebbles	North and east of site retaining walls
P4	Concrete paving	Stairs

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HPC FORMAL REVIEW

project: IRVINE RESIDENCE

date: 11 13 2014

scale: AS SHOWN

drawn by: WJ

sheet title

LANDSCAPE PLAN

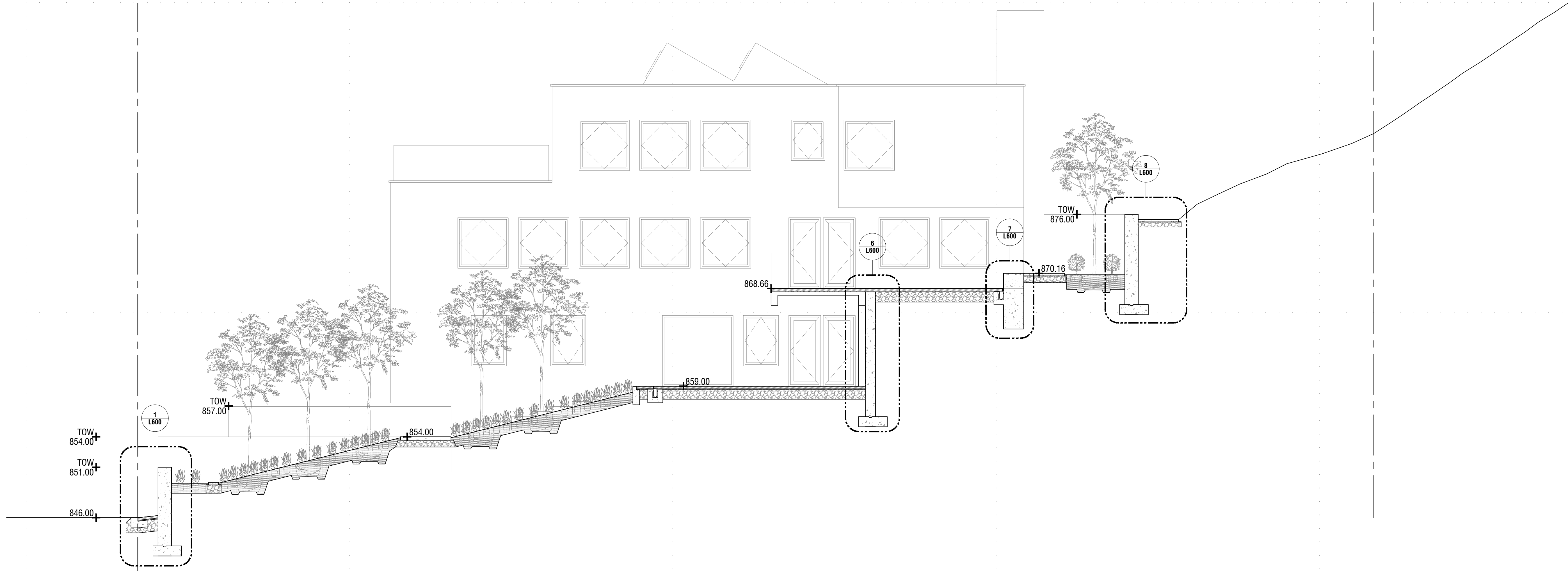
IRVINE RESIDENCE

HPC FORMAL REVIEW

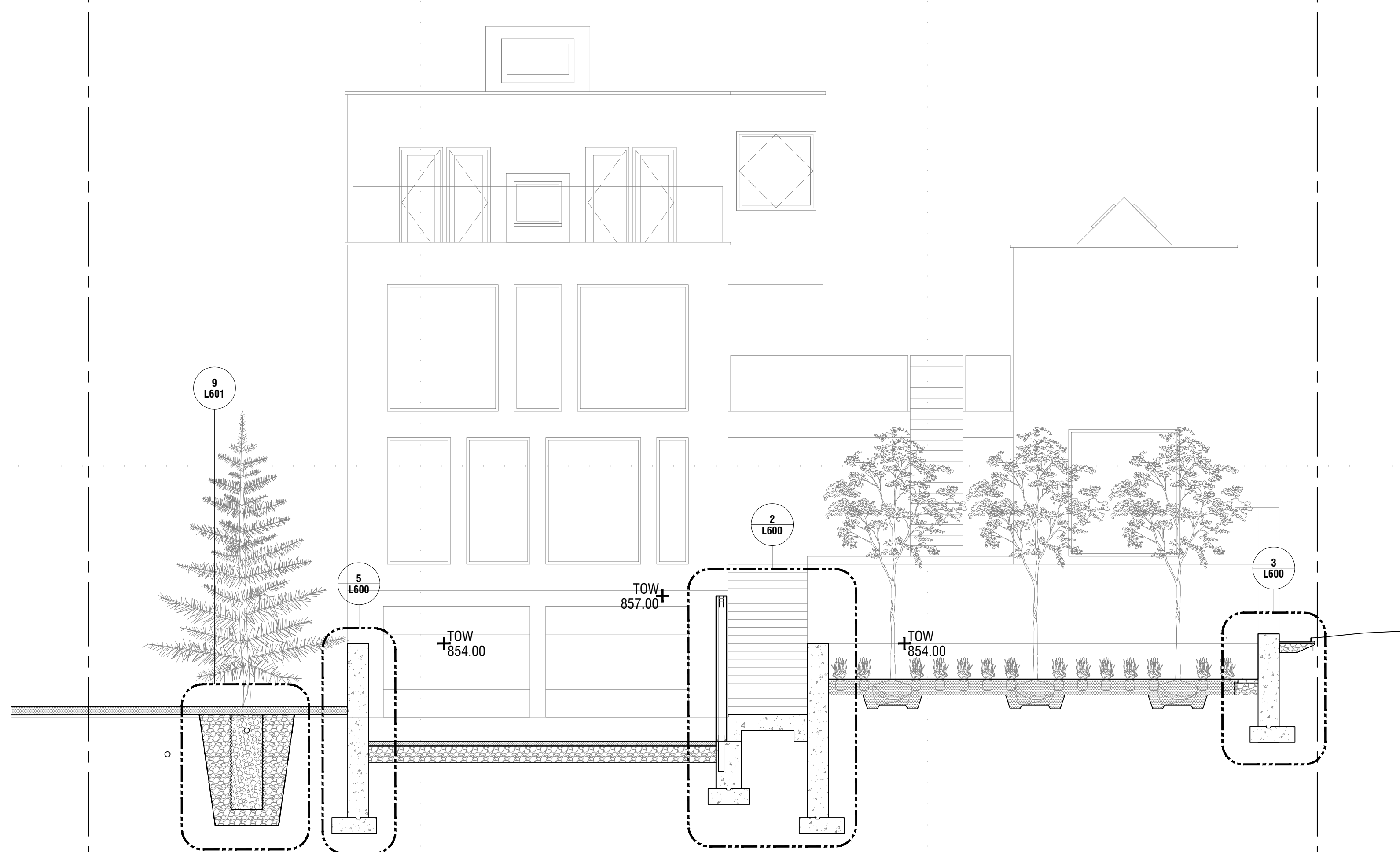
321 IRVINE AVE, ST. PAUL, MN 55102

L400

sheet number



**1 SECTION 1-1**  
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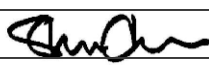
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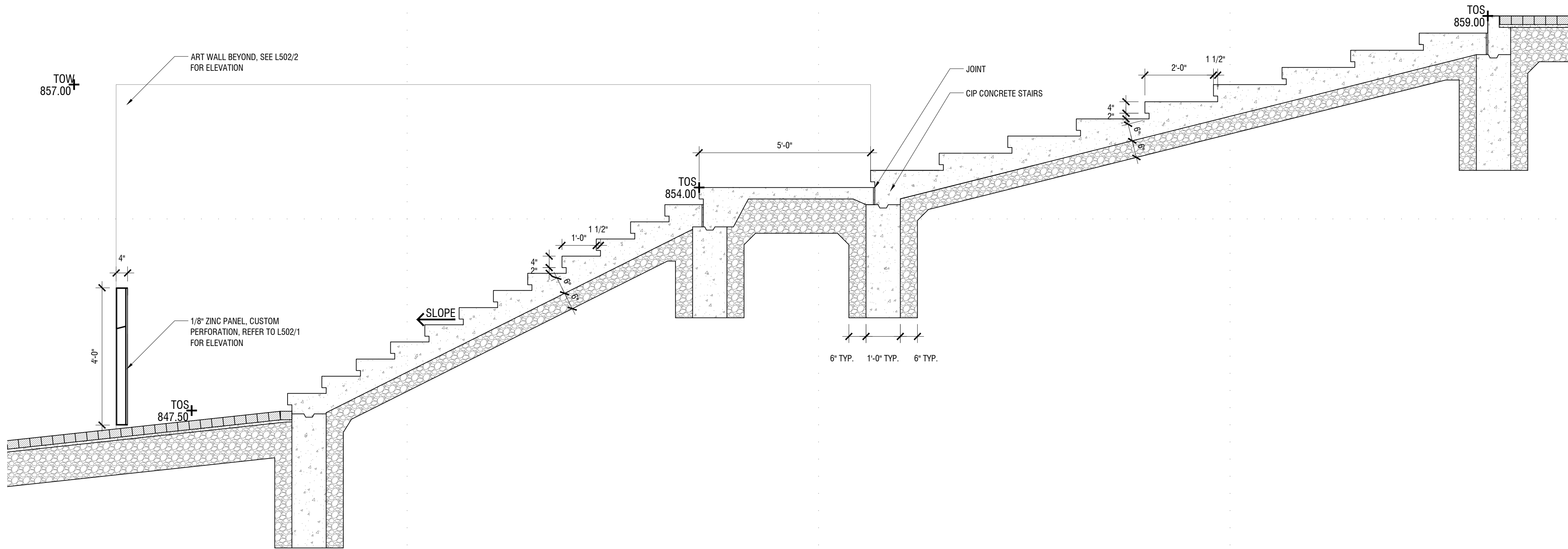
ARCHITECT  
  
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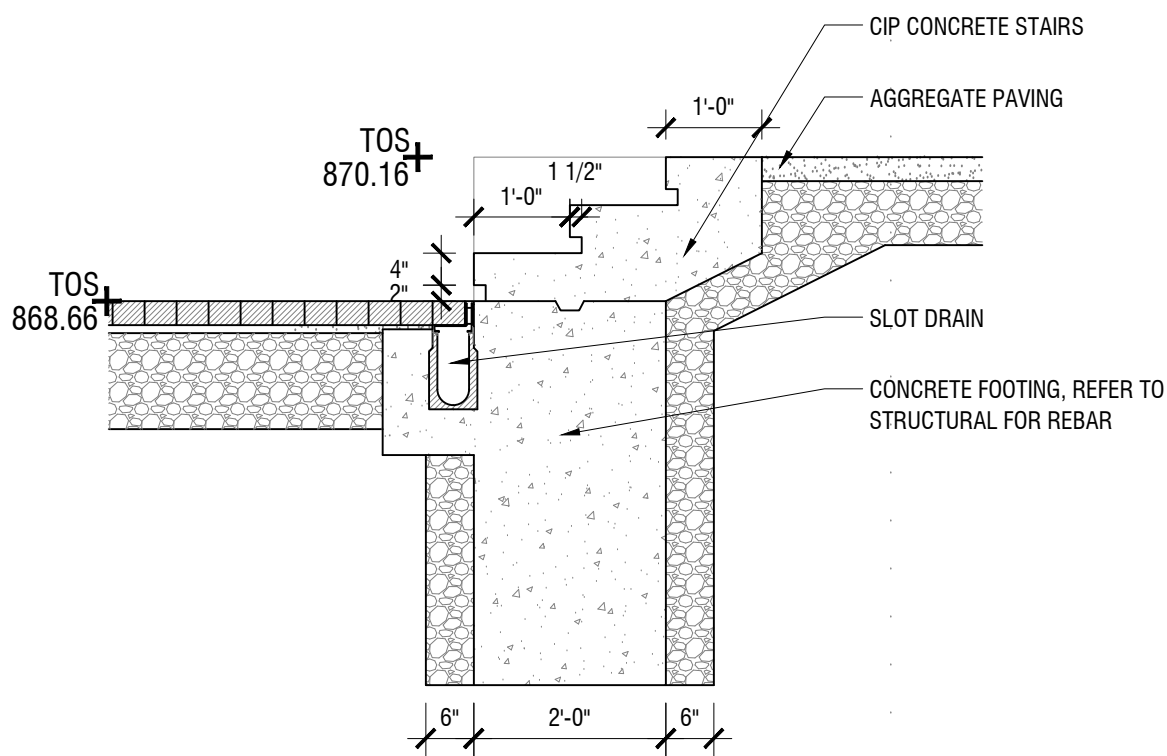
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**HPC FORMAL REVIEW**  
project: IRVINE RESIDENCE  
date: 11 13 2014  
scale: AS SHOWN  
drawn by: WJ  
sheet title  
**SITE SECTIONS**



**1 FRONT ENTRY STAIRS & GATE SECTION**  
Scale: 1/2" = 1'-0"



**2 BACK PATIO STAIRS SECTION**  
Scale: 1/2" = 1'-0"

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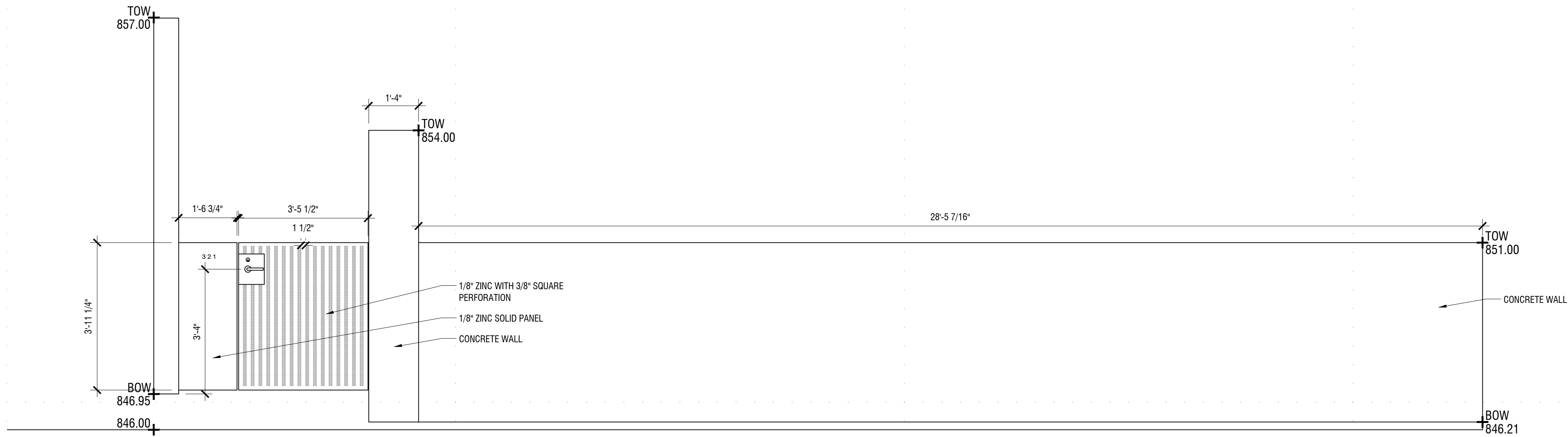
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sheet title

SECTIONS

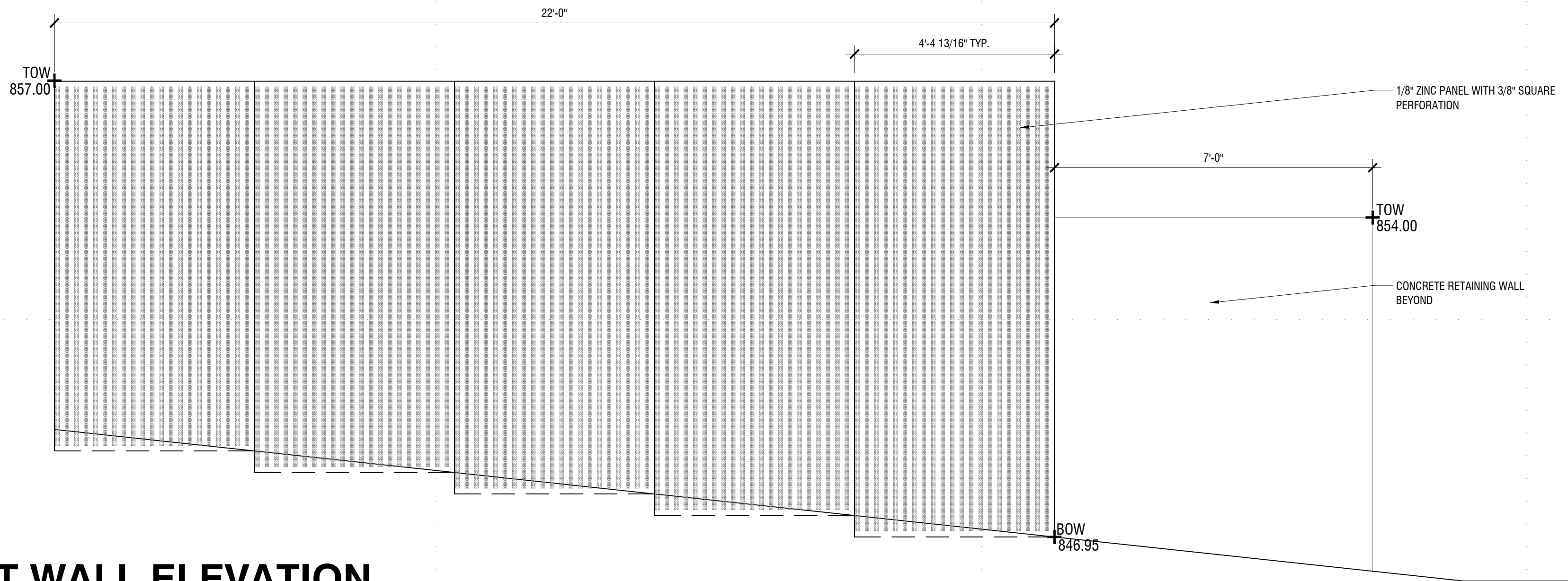
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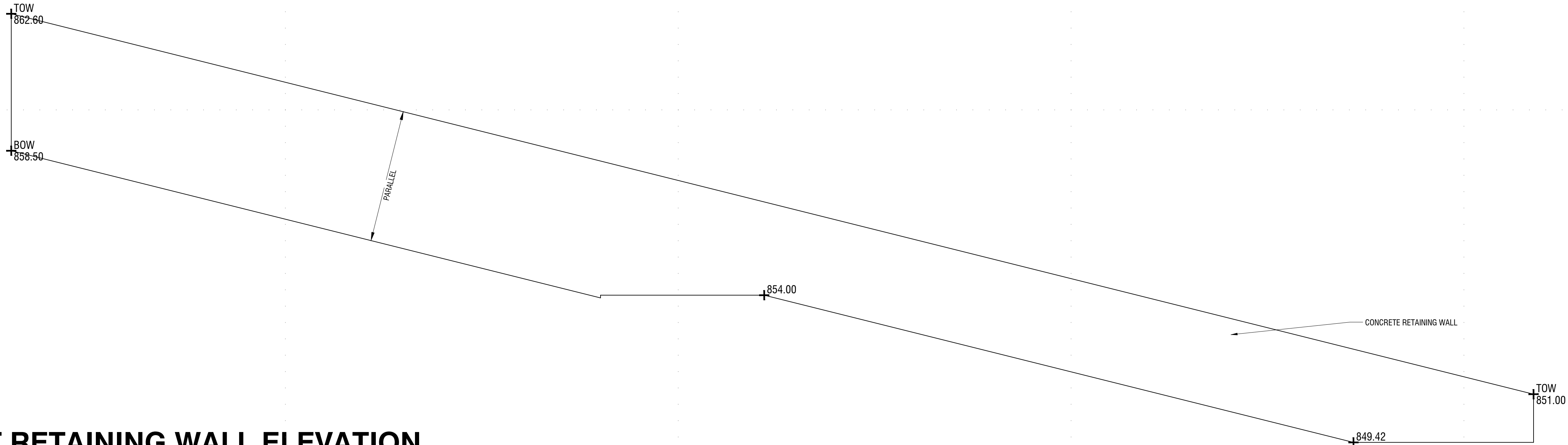
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Scale: 1/2" = 1'-0"



## 2 ART WALL ELEVATION

Scale: 1/2" = 1'-0"



## 3 EAST RETAINING WALL ELEVATION

Scale: 1/2" = 1'-0"

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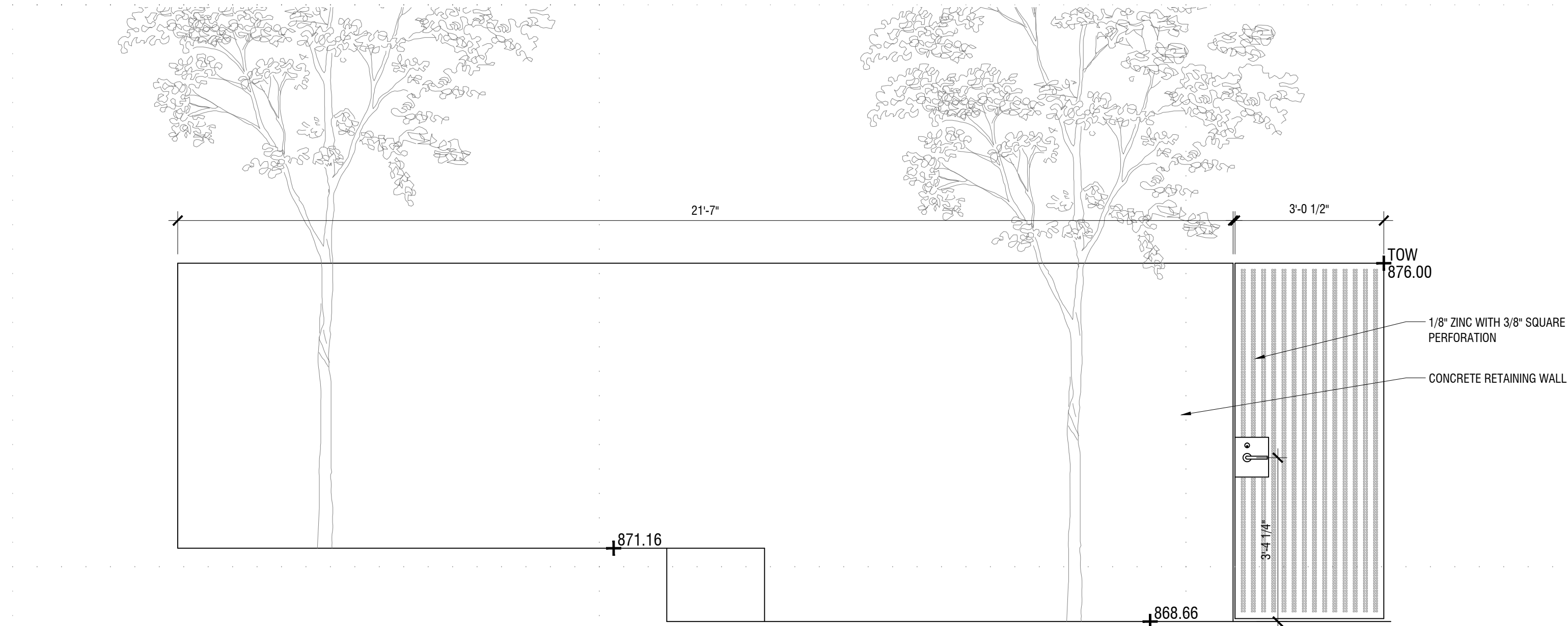
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ELEVATIONS

L502

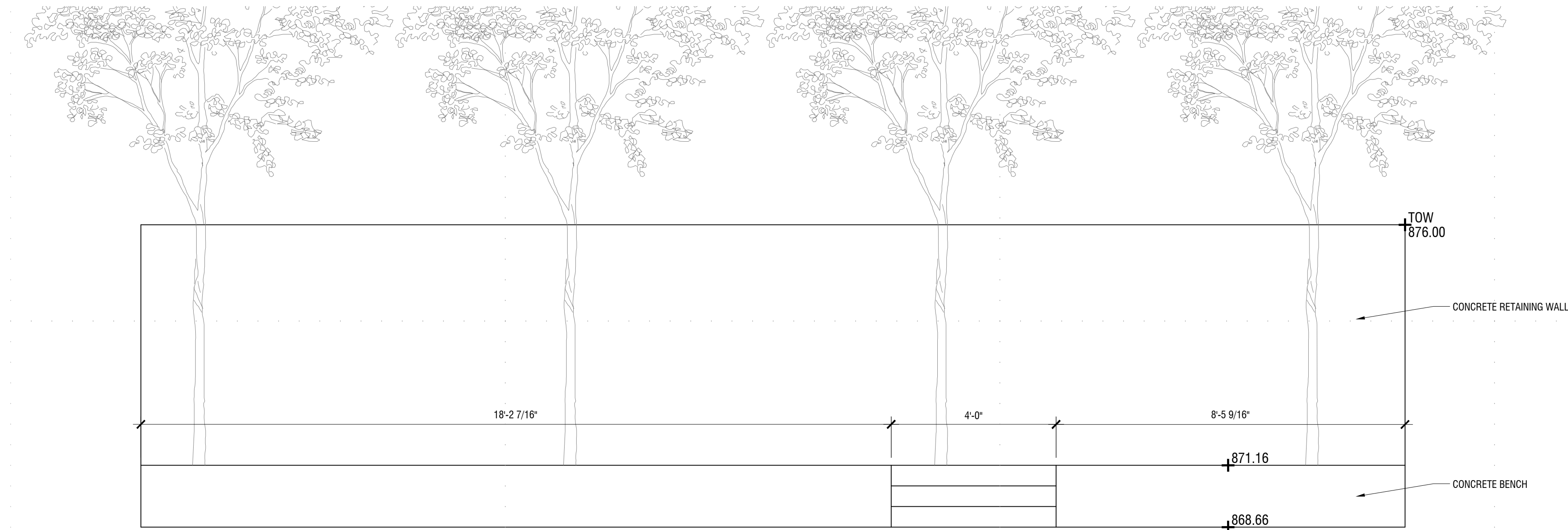
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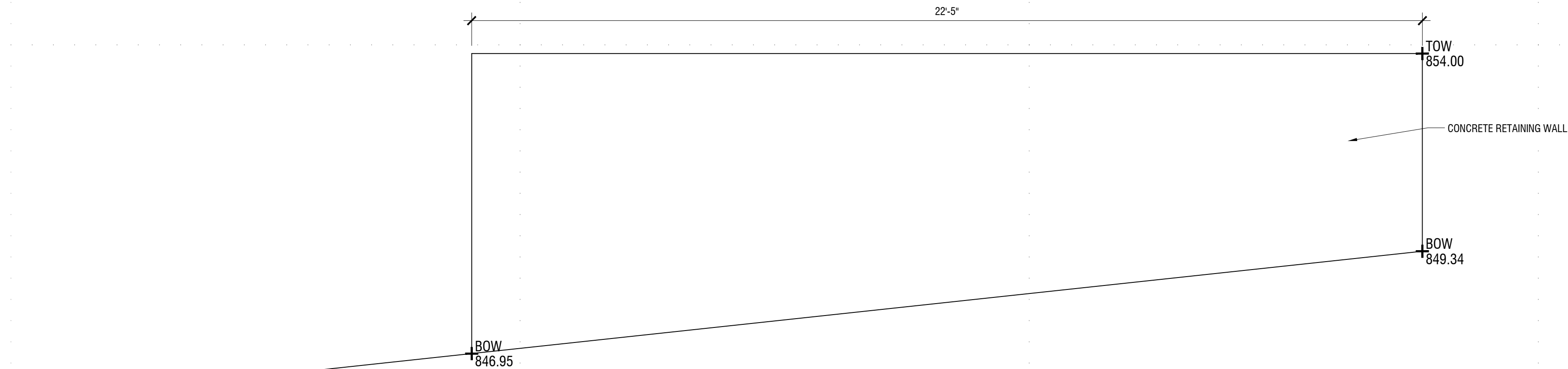
1 BACK PATIO SIDE WALL / GATE ELEVATION

Scale:1/2" = 1'-0"



2 BACK WALL ELEVATION

Scale:1/2" = 1'-0"



3 WEST RETAINING WALL ELEVATION

Scale:1/2" = 1'-0"

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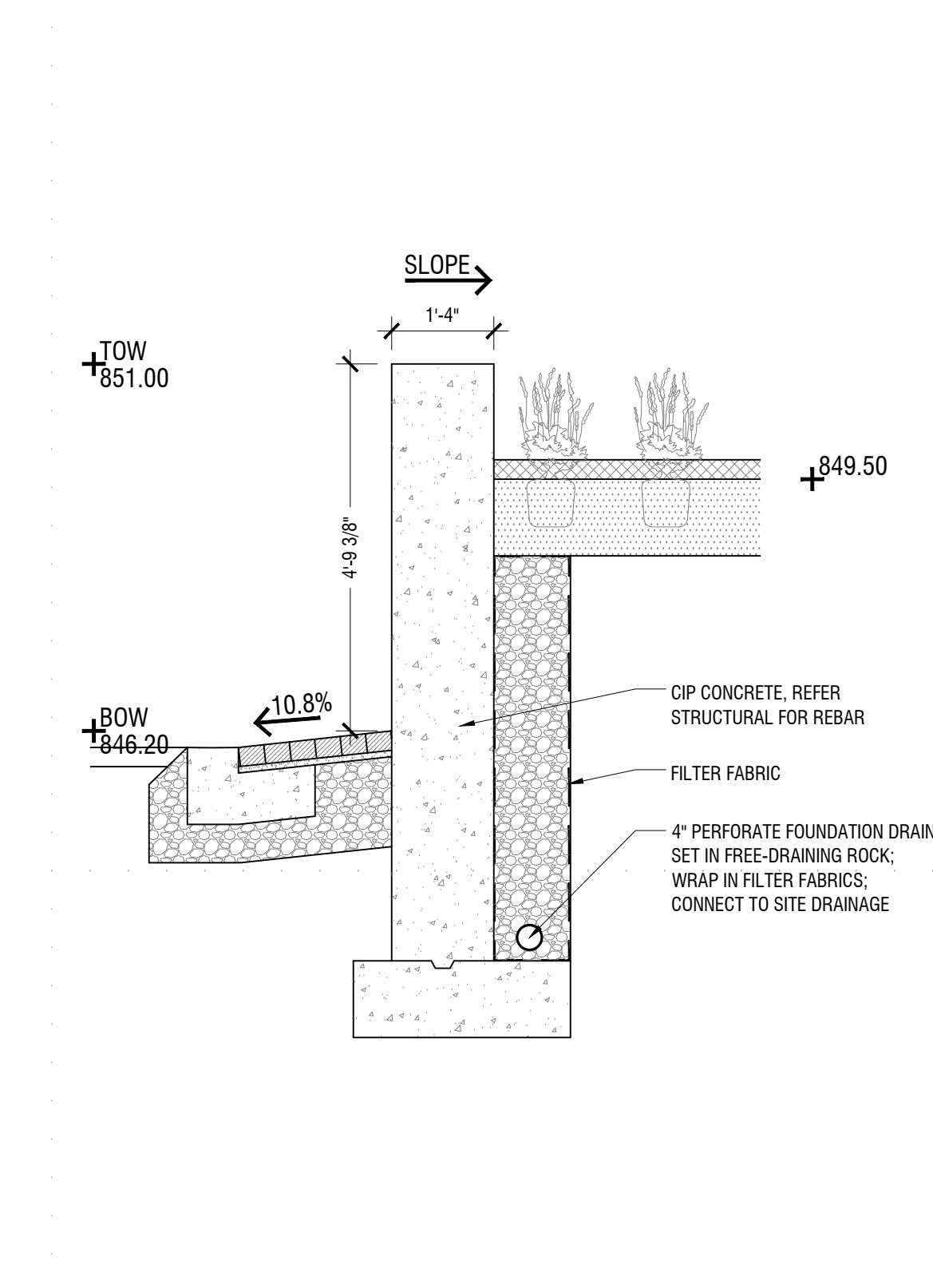
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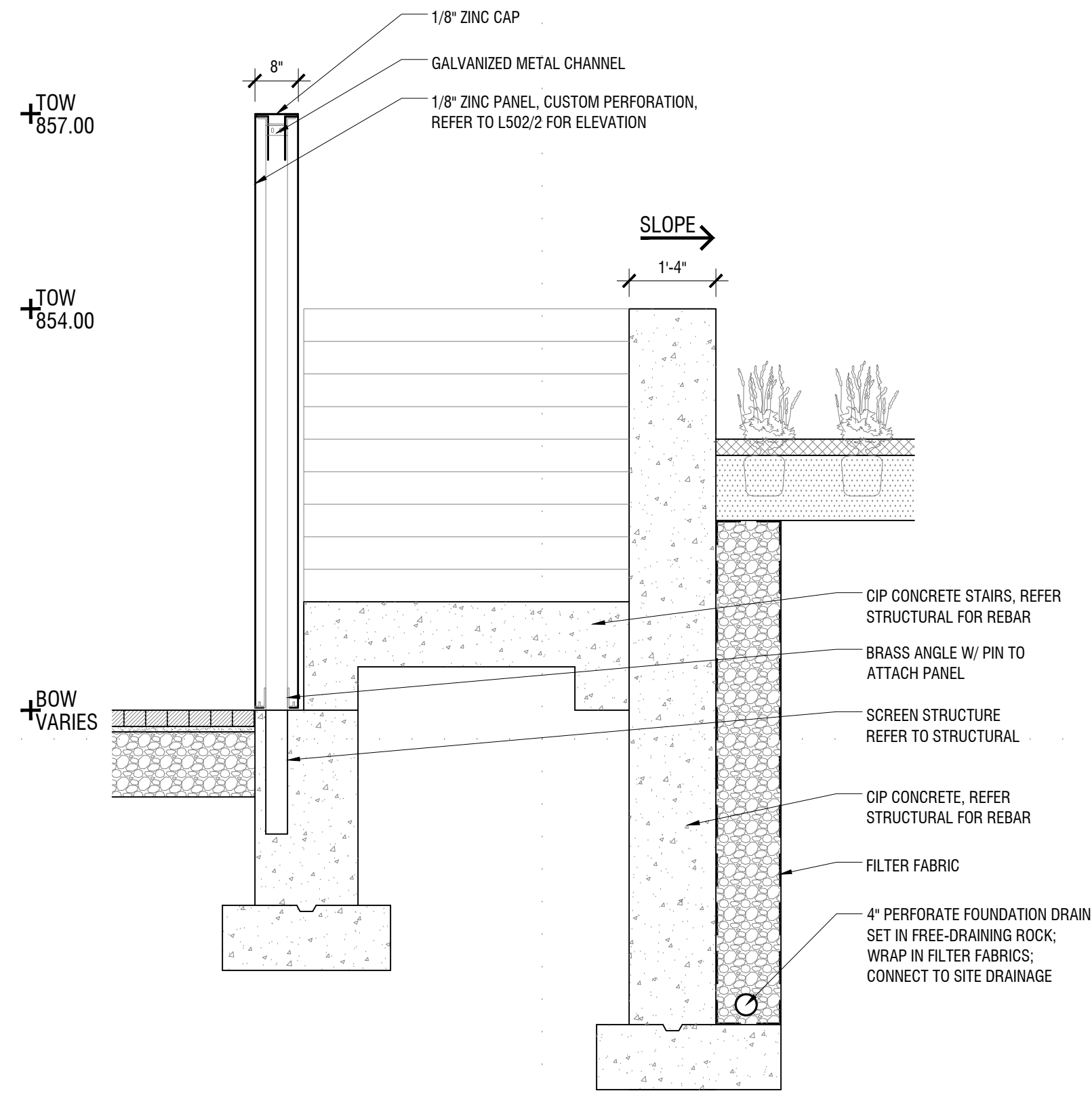
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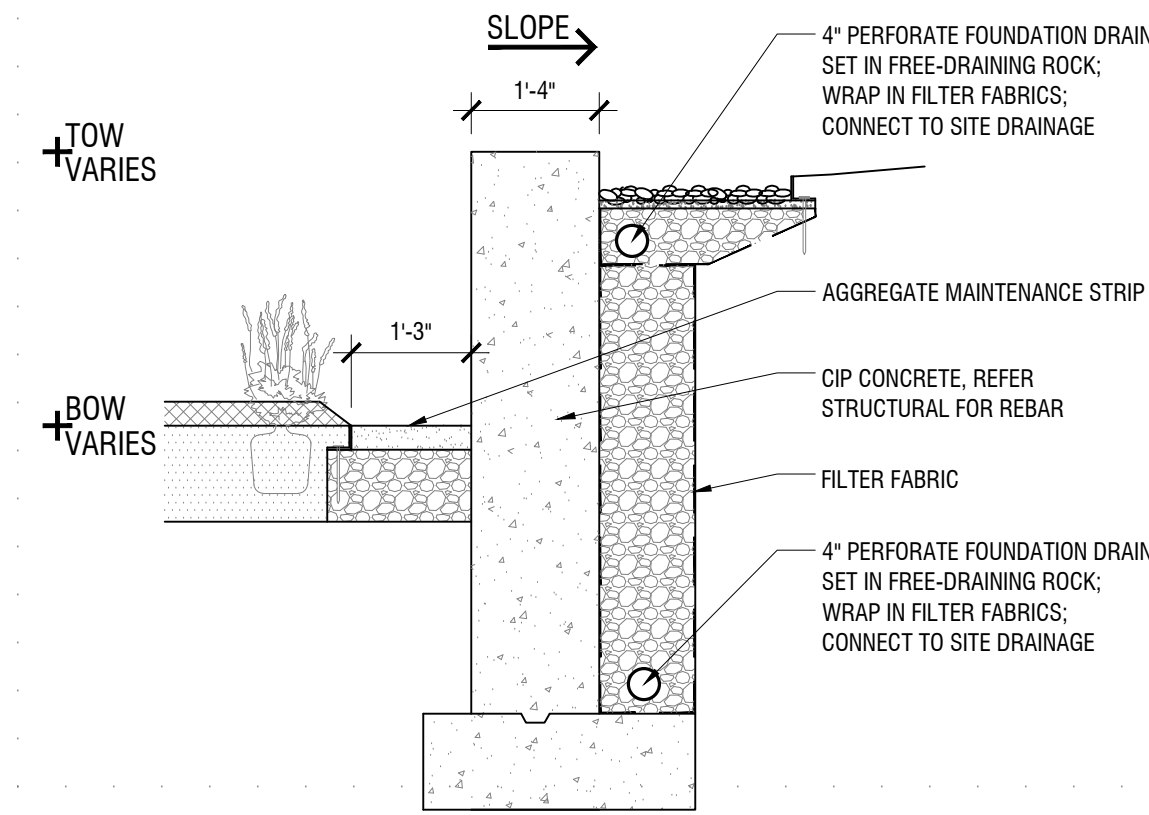




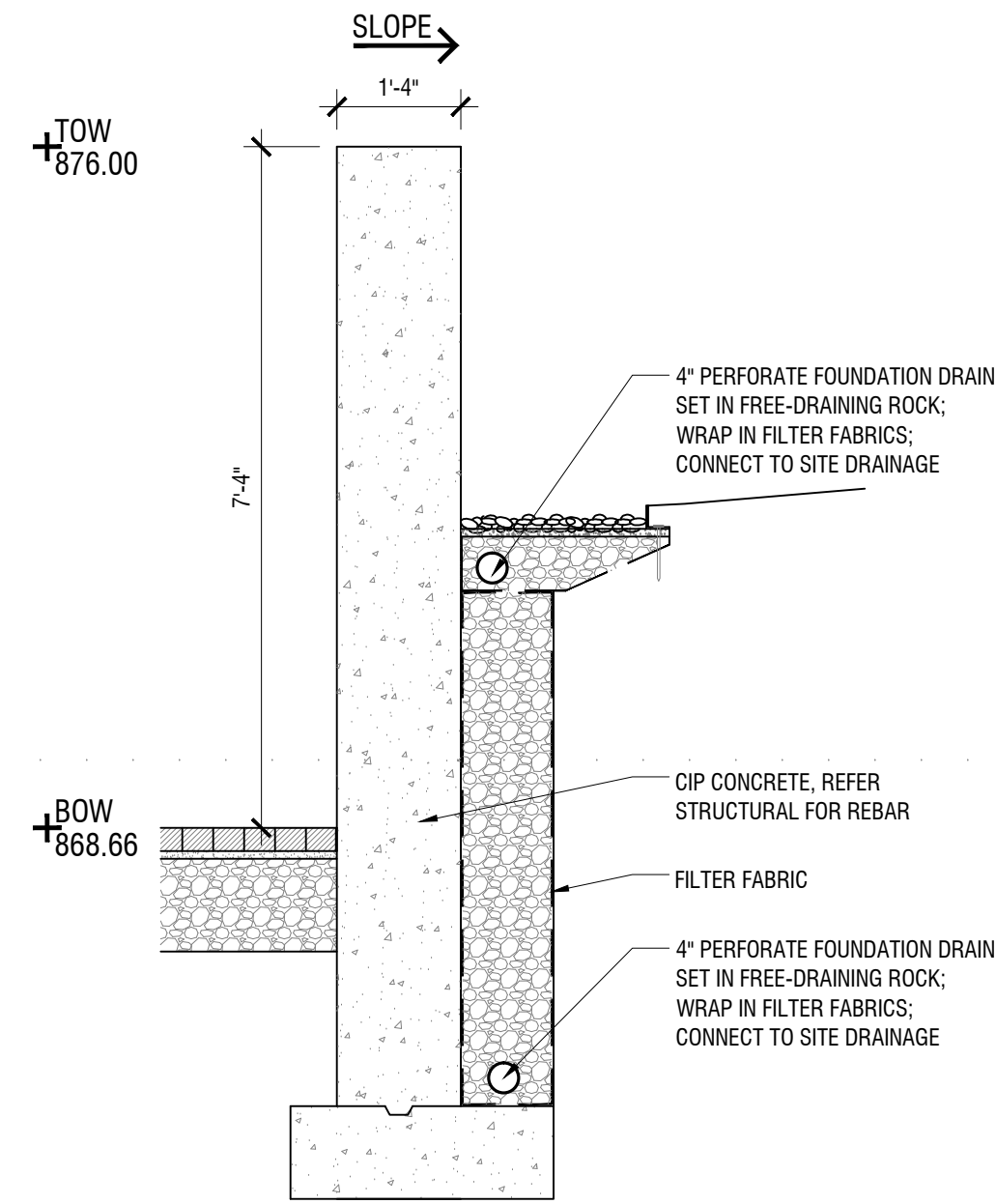
1 CONCRETE RETAINING WALL 1  
Scale: 1/2" = 1'-0"



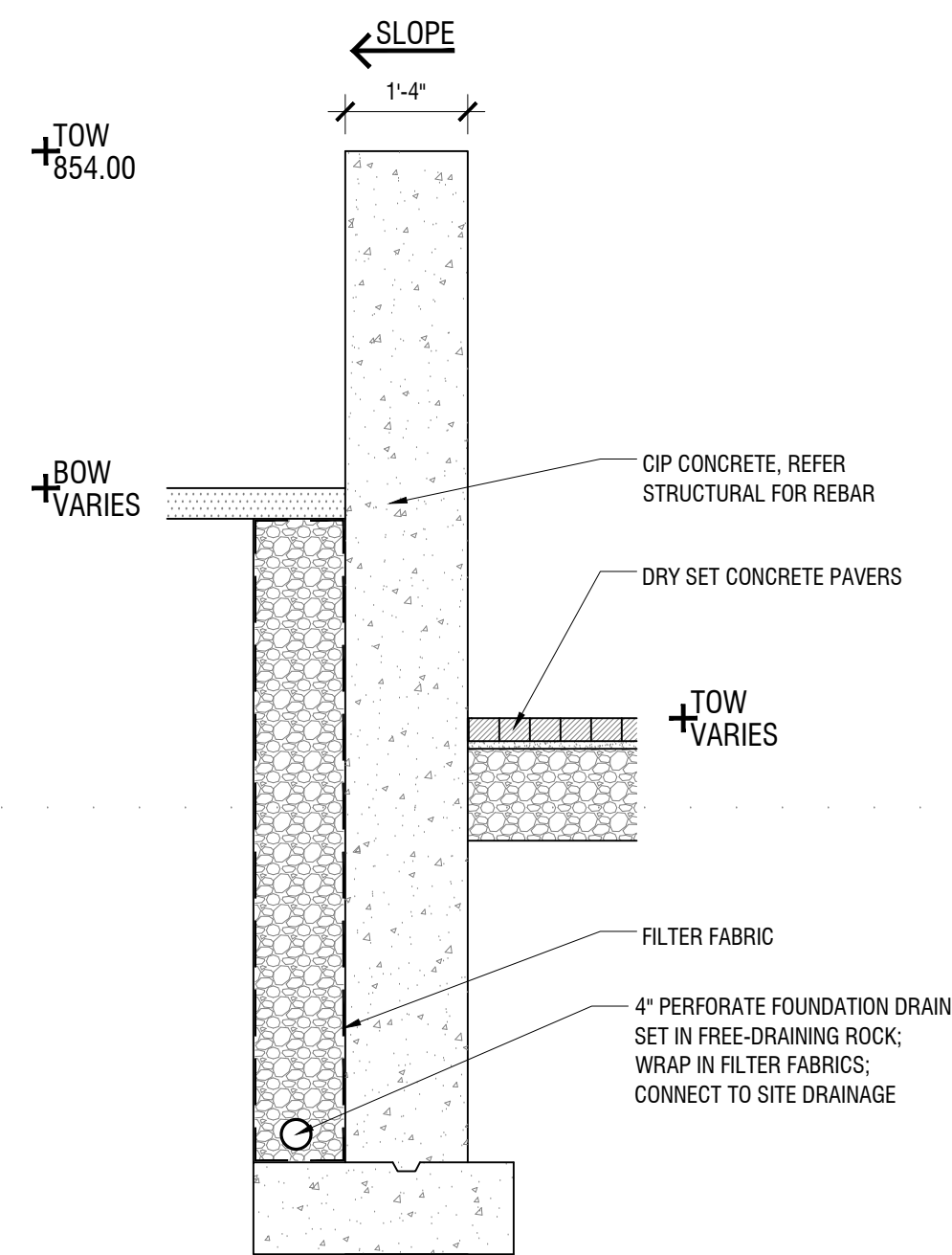
2 CONCRETE RETAINING WALL 2  
Scale: 1/2" = 1'-0"



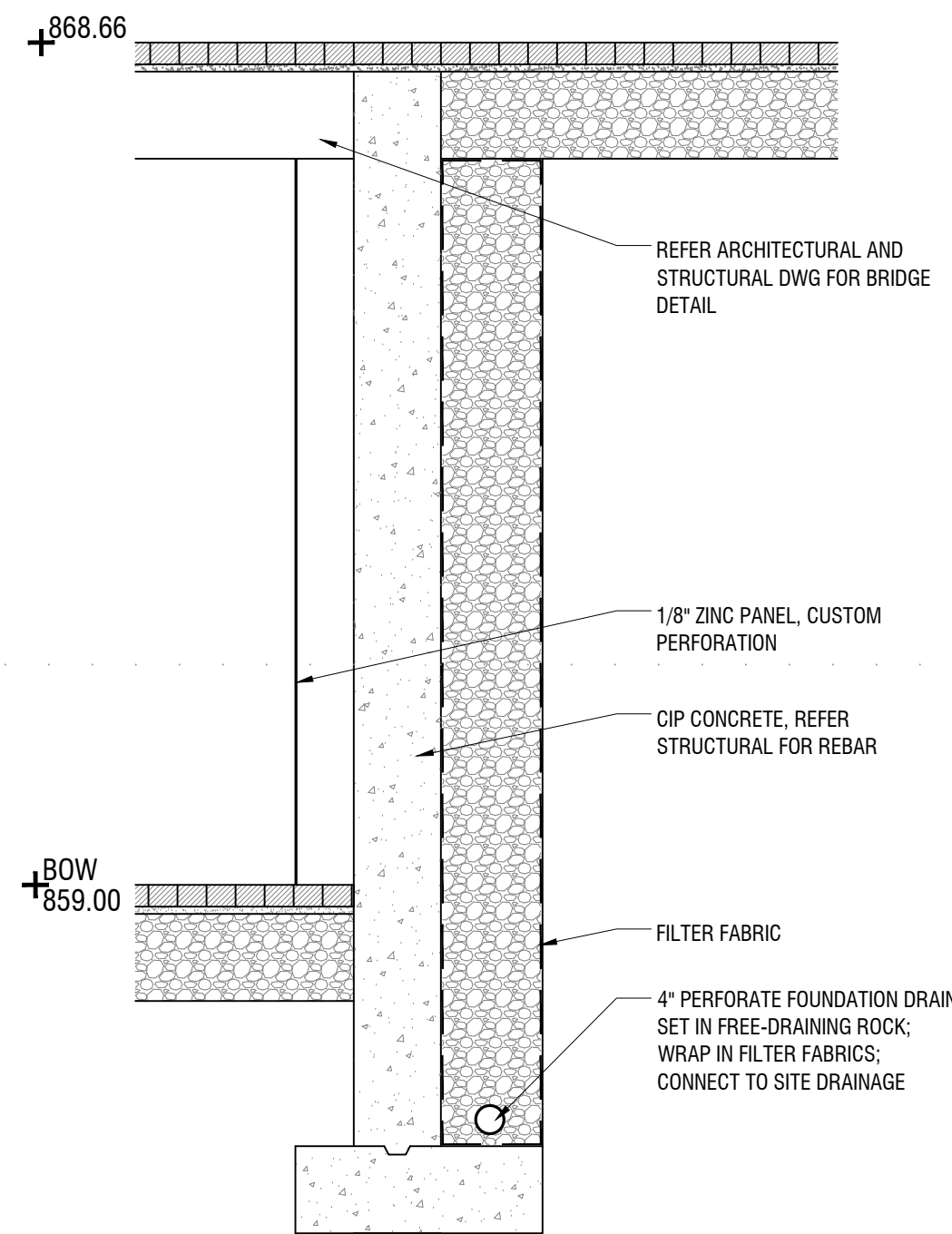
3 CONCRETE RETAINING WALL 3  
Scale: 1/2" = 1'-0"



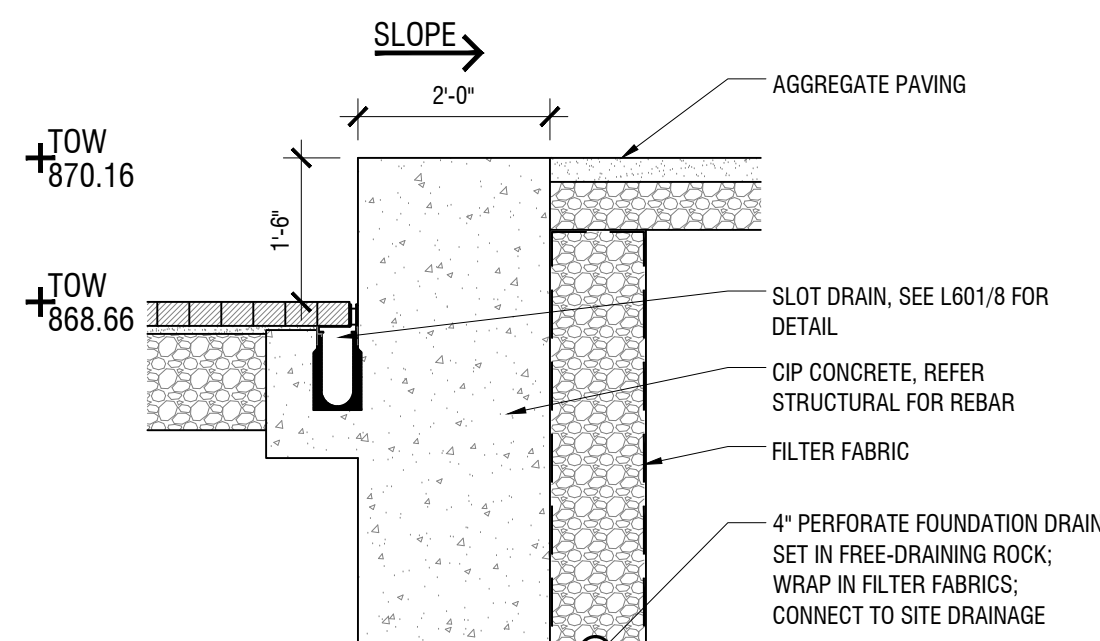
4 CONCRETE RETAINING WALL 4  
Scale: 1/2" = 1'-0"



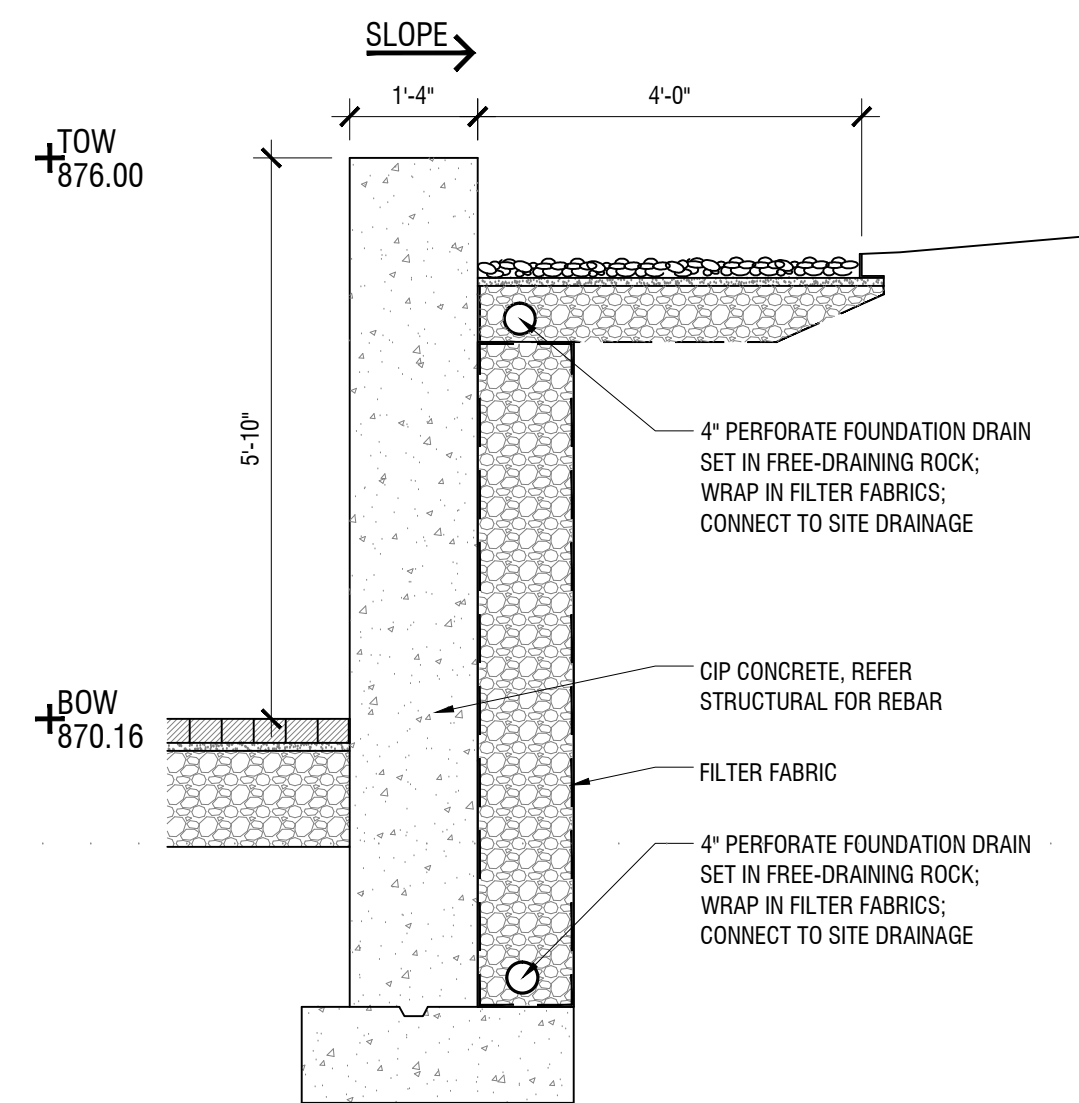
5 CONCRETE RETAINING WALL 5  
Scale: 1/2" = 1'-0"



6 RETAINING WALL AT ENTRY  
Scale: 1/2" = 1'-0"



7 BENCH / RETAINING WALL AT BACK PATIO  
Scale: 1/2" = 1'-0"



8 CONCRETE RETAINING WALL AT BACK PATIO  
Scale: 1/2" = 1'-0"

# IRVINE RESIDENCE

## HPC FORMAL REVIEW

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license no. xx date: XX-XX-XXXX

rev no. date description

4	11 13 2014	HPC FORMAL REVIEW REVISION
3	10 02 2014	HPC FORMAL REVIEW
2	09 22 2014	SITE PLAN REVIEW REVISION
1	08 19 2014	SITE PLAN REVIEW

### HPC FORMAL REVIEW

project: IRVINE RESIDENCE

date: 11 13 2014

scale: AS SHOWN

drawn by: WJ

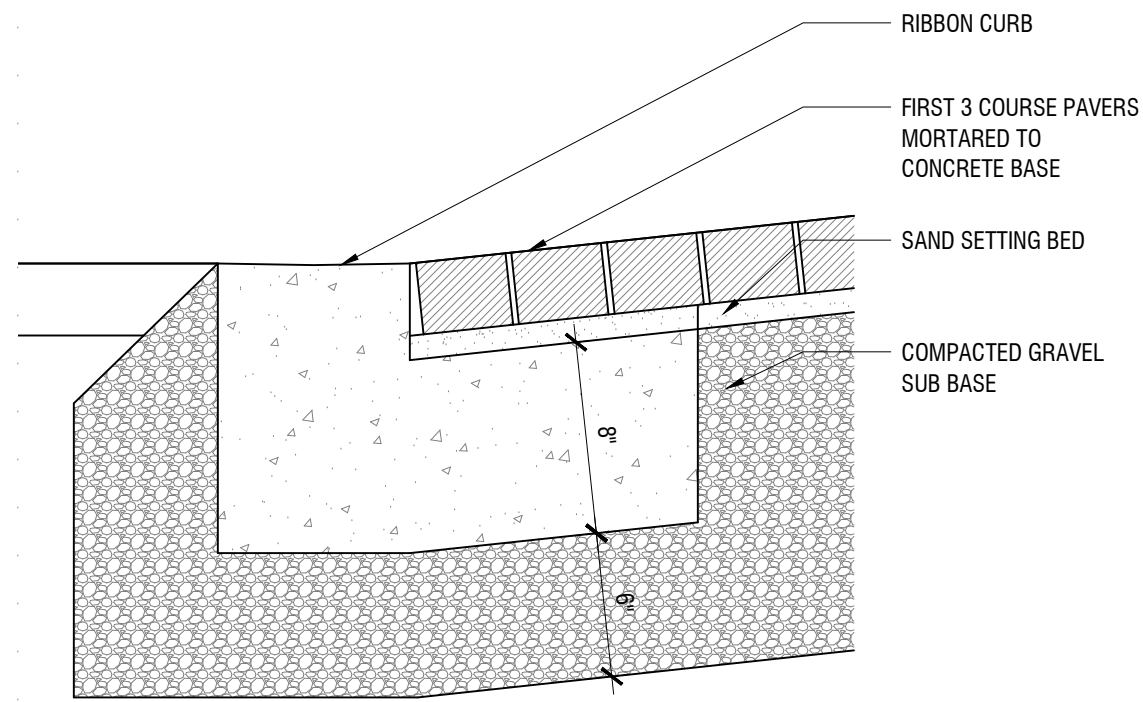
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WALL & GATE DETAILS

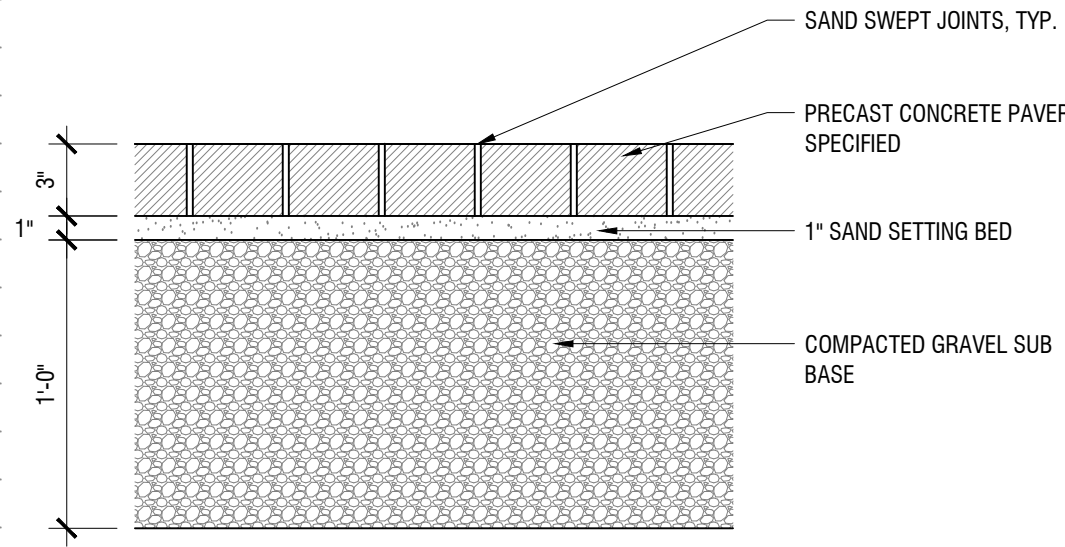
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sheet number

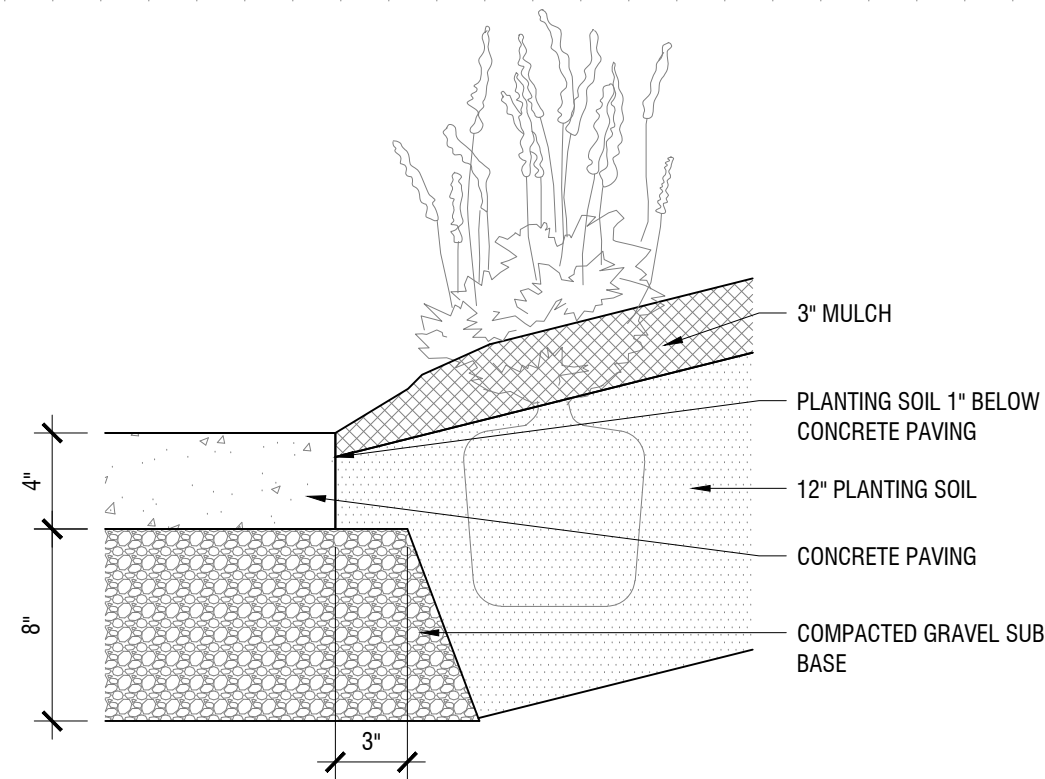




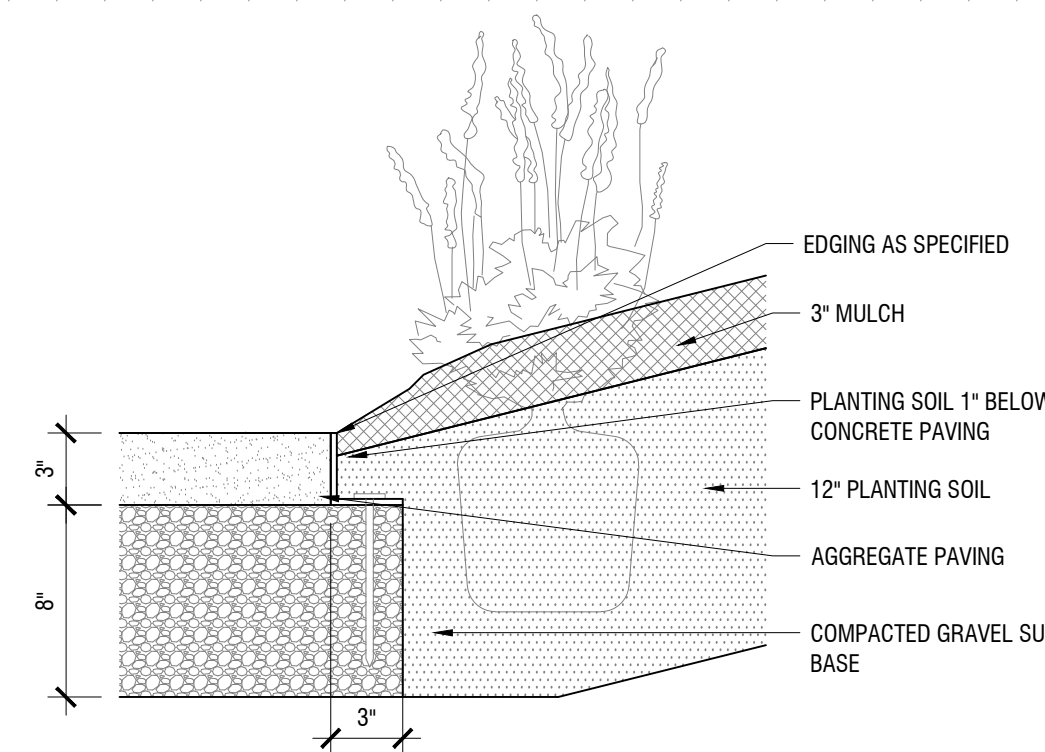
1 CONCRETE PAVERS @ DRIVEWAY  
Scale: 1 1/2" = 1'-0"



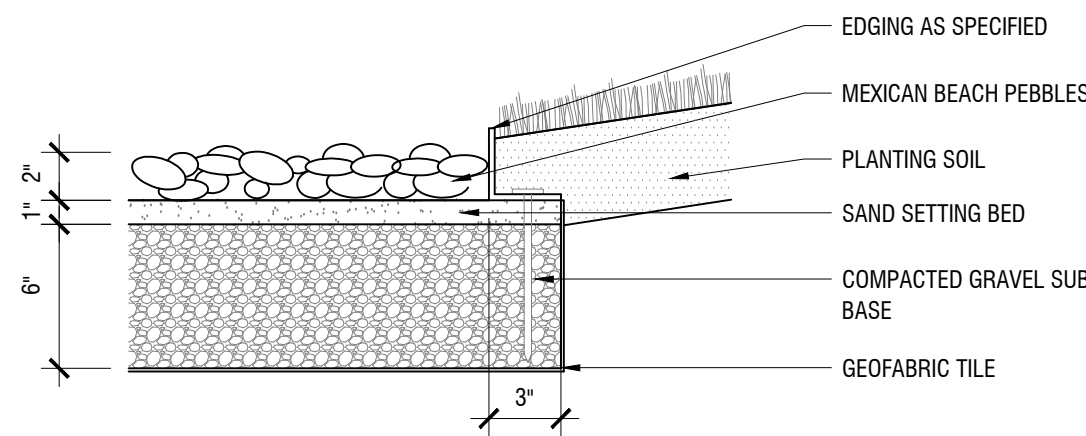
2 DRY SET CONCRETE PAVERS, TYP.  
Scale: 1 1/2" = 1'-0"



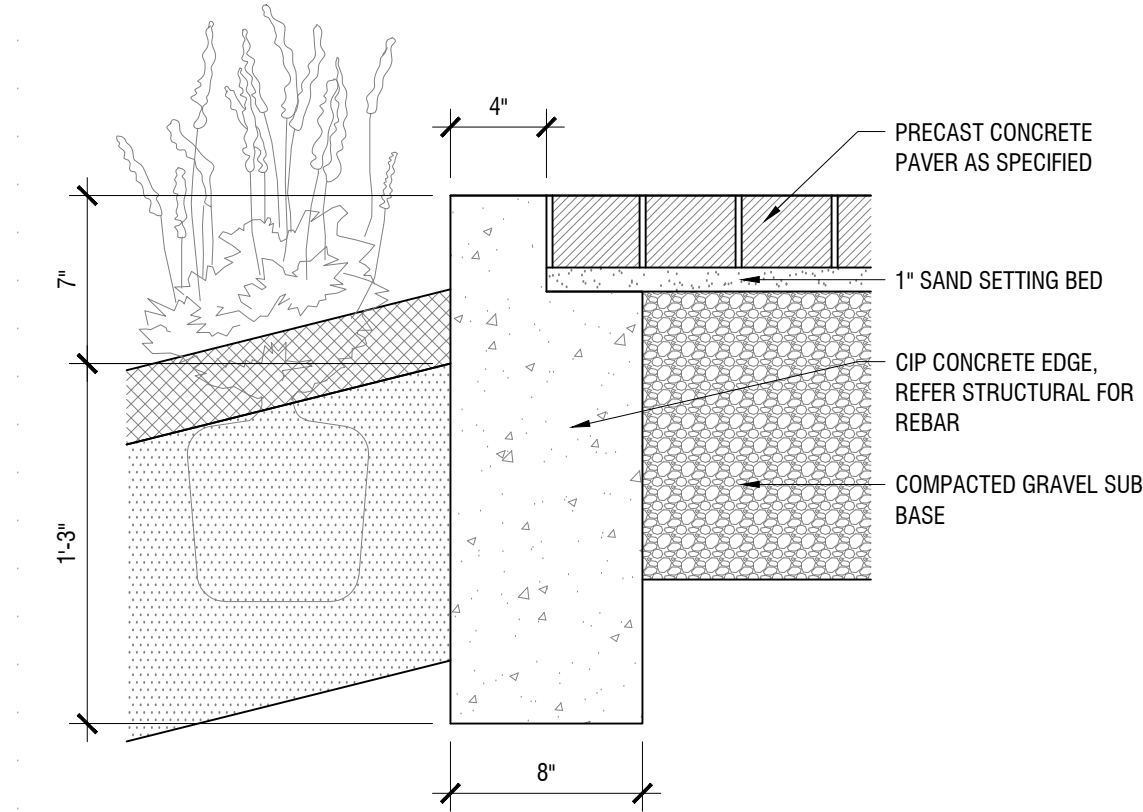
3 CONCRETE PAVING @ PLANTING  
Scale: 1 1/2" = 1'-0"



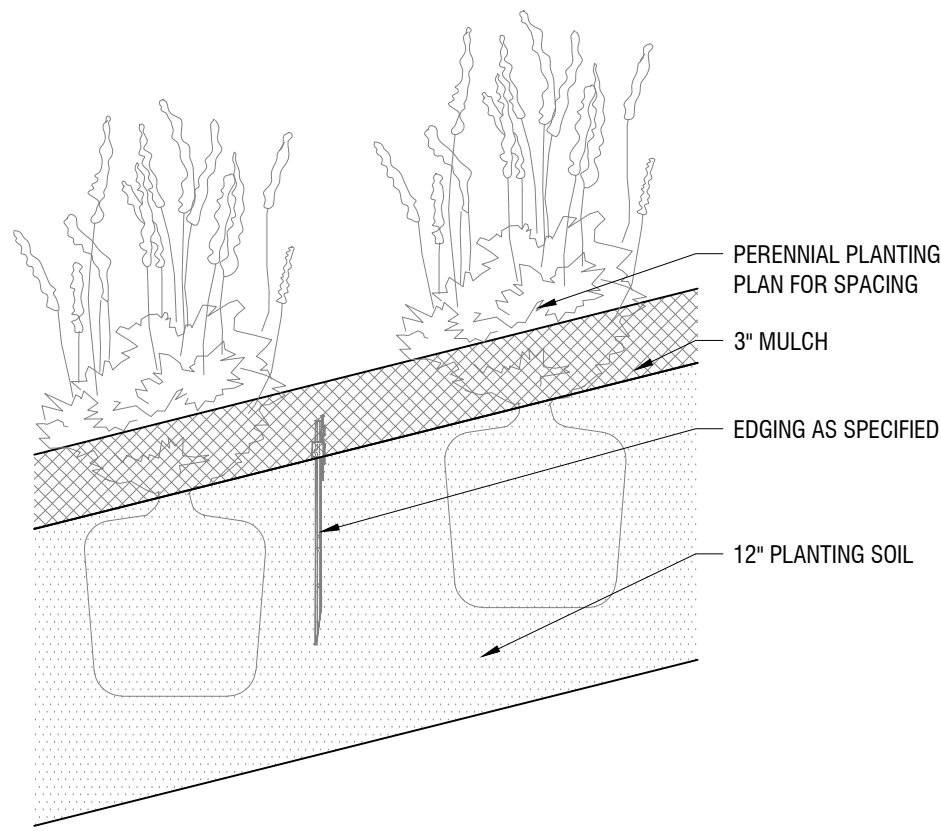
4 AGGREGATE @ PLANTING  
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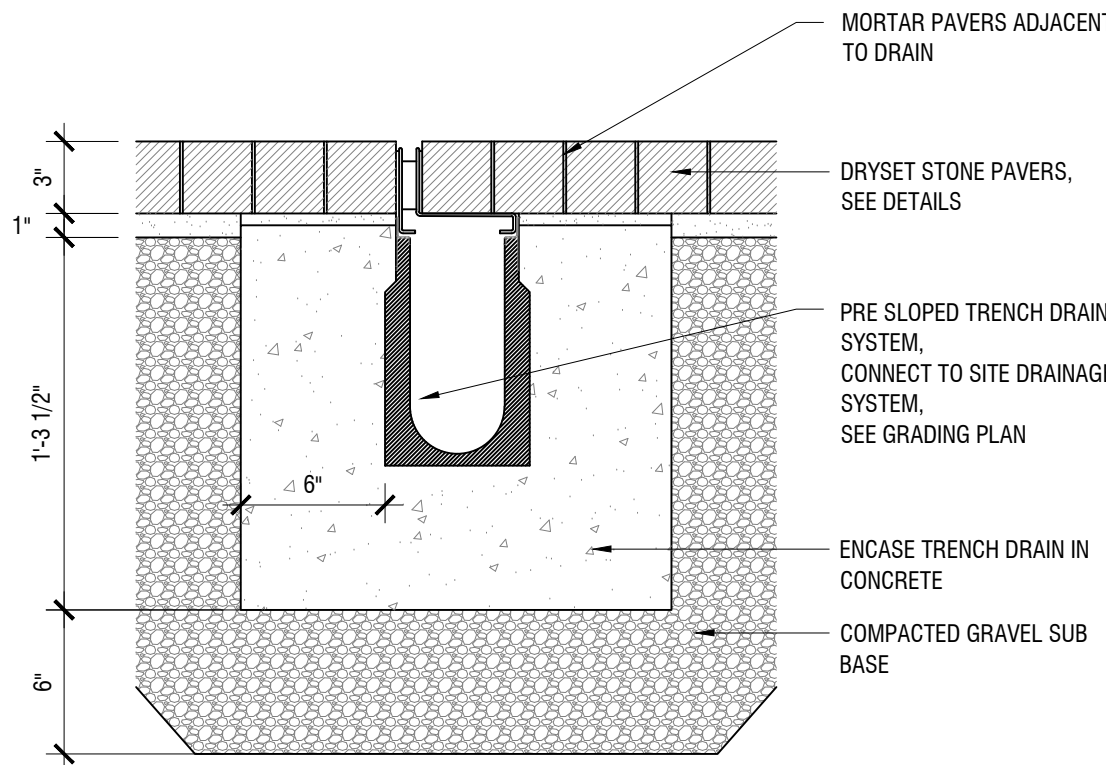
5 BEACH PEBBLES @ WILD FLOWER SEED MIX  
Scale: 1 1/2" = 1'-0"



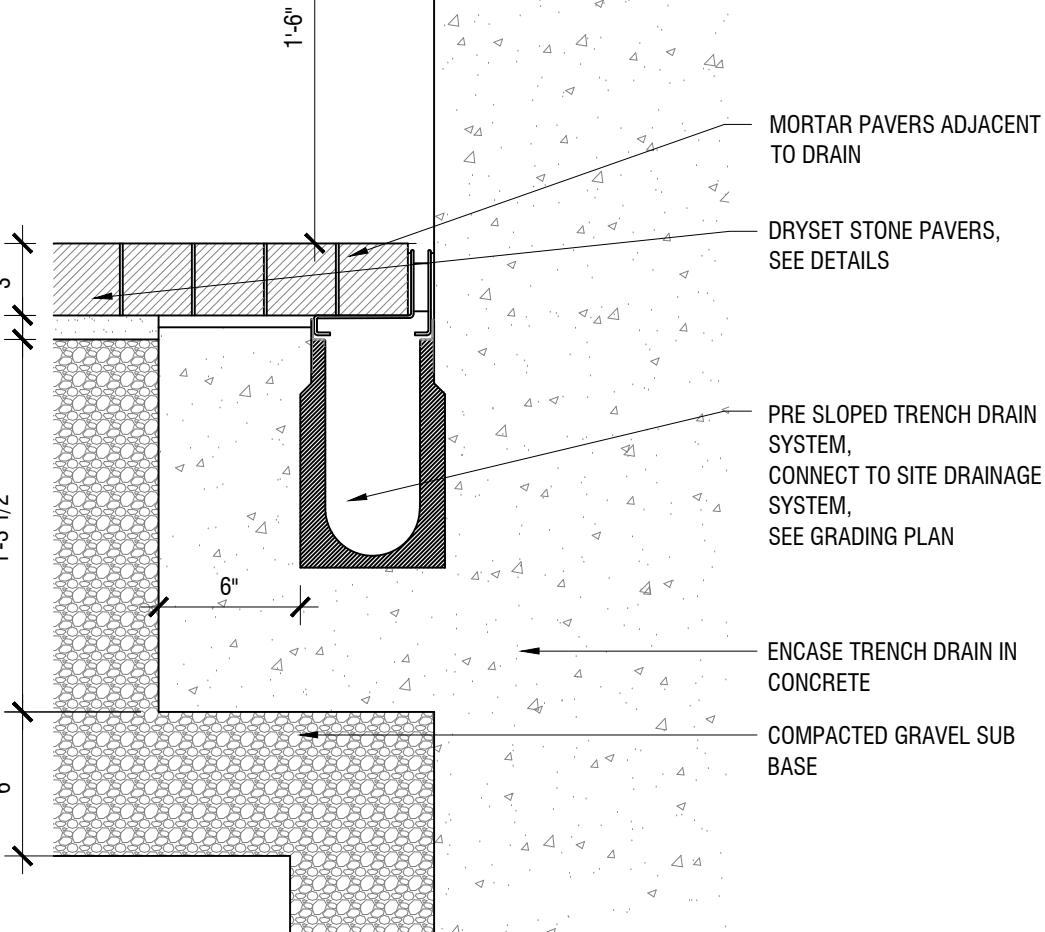
6 CONCRETE PAVERS @ TERRACE EDGE  
Scale: 1 1/2" = 1'-0"



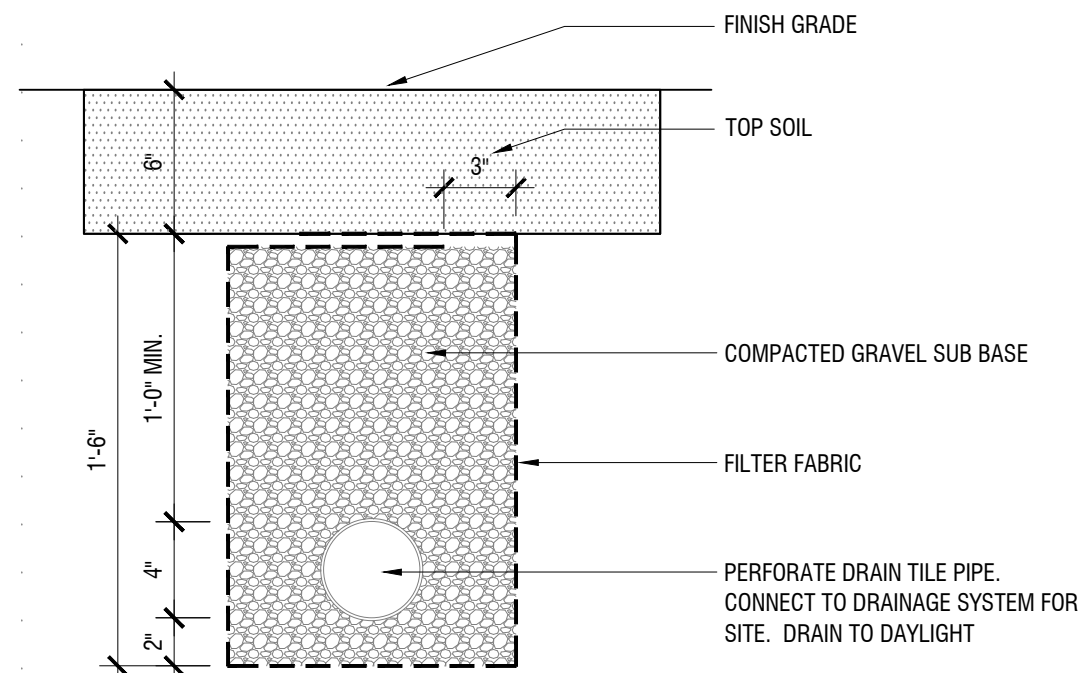
7 ALUMINUM EDGING @ PLANTING  
Scale: 1 1/2" = 1'-0"



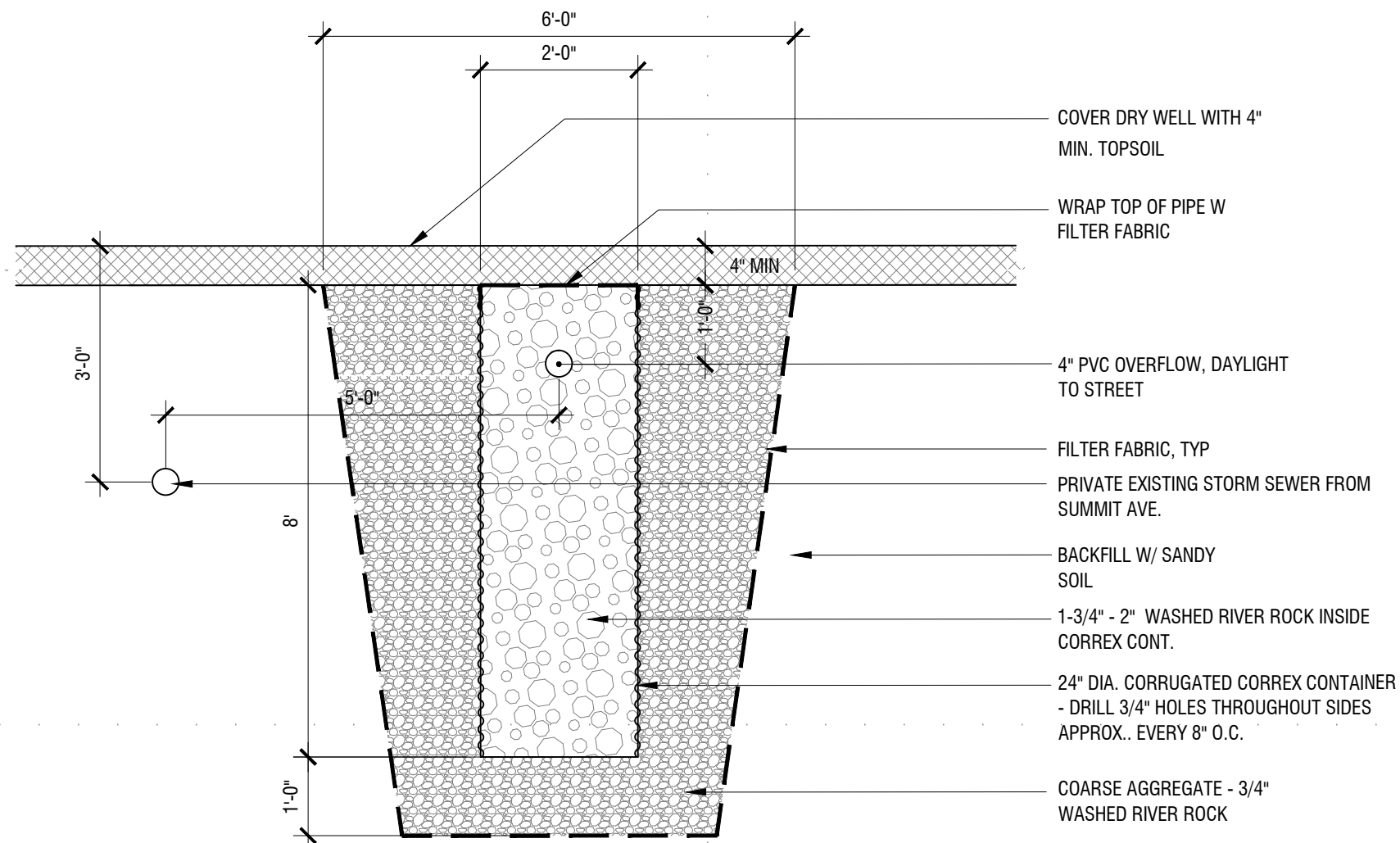
8 SLOT DRAIN @ ENTRY TERRACE  
Scale: 1 1/2" = 1'-0"



8 SLOT DRAIN @ BENCH  
Scale: 1 1/2" = 1'-0"



9 FRENCH DRAIN, TYP.  
Scale: 1 1/2" = 1'-0"



10 AREA DRY WELL, FRENCH DRAIN OUTLET  
Scale: 1/2" = 1'-0"

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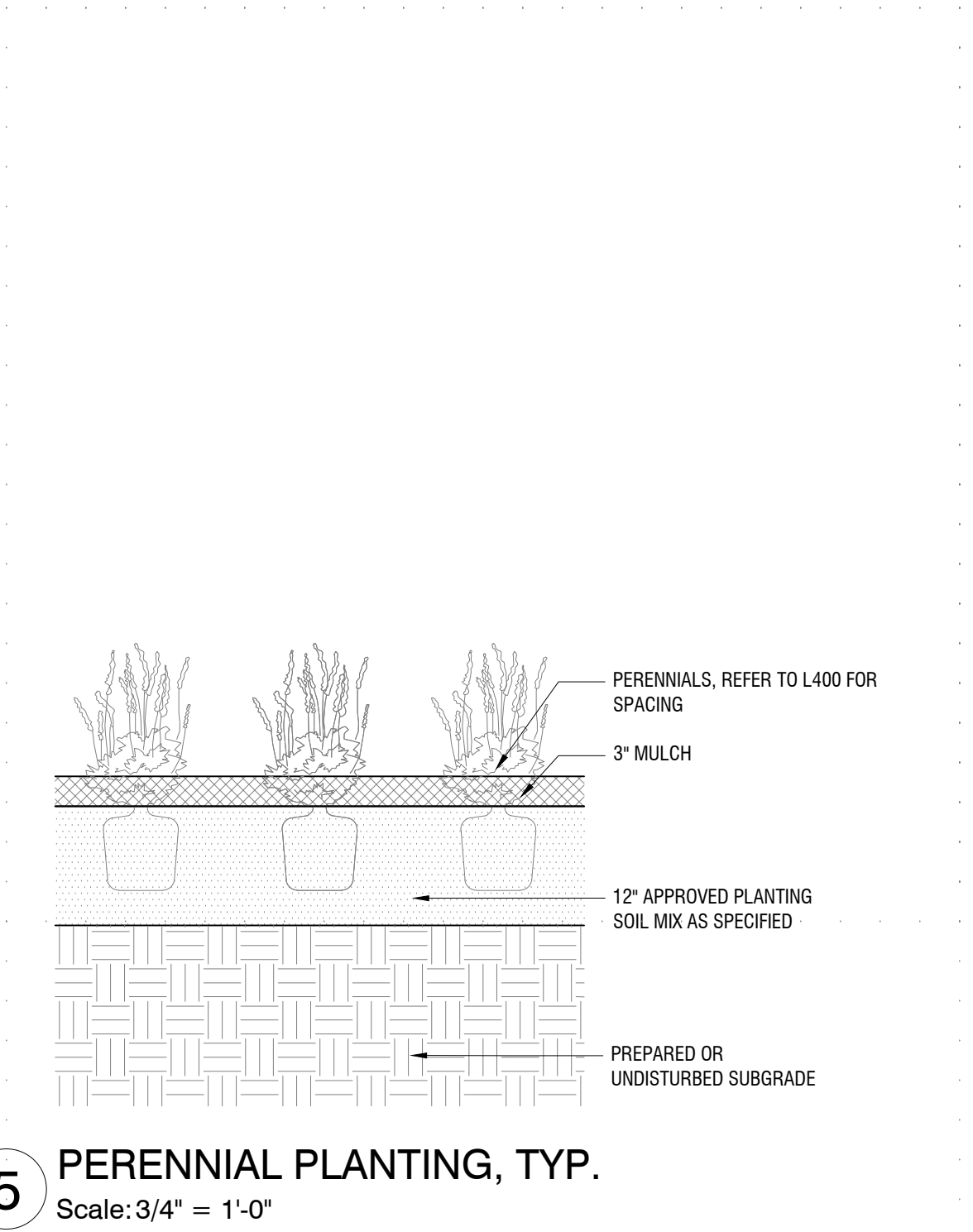
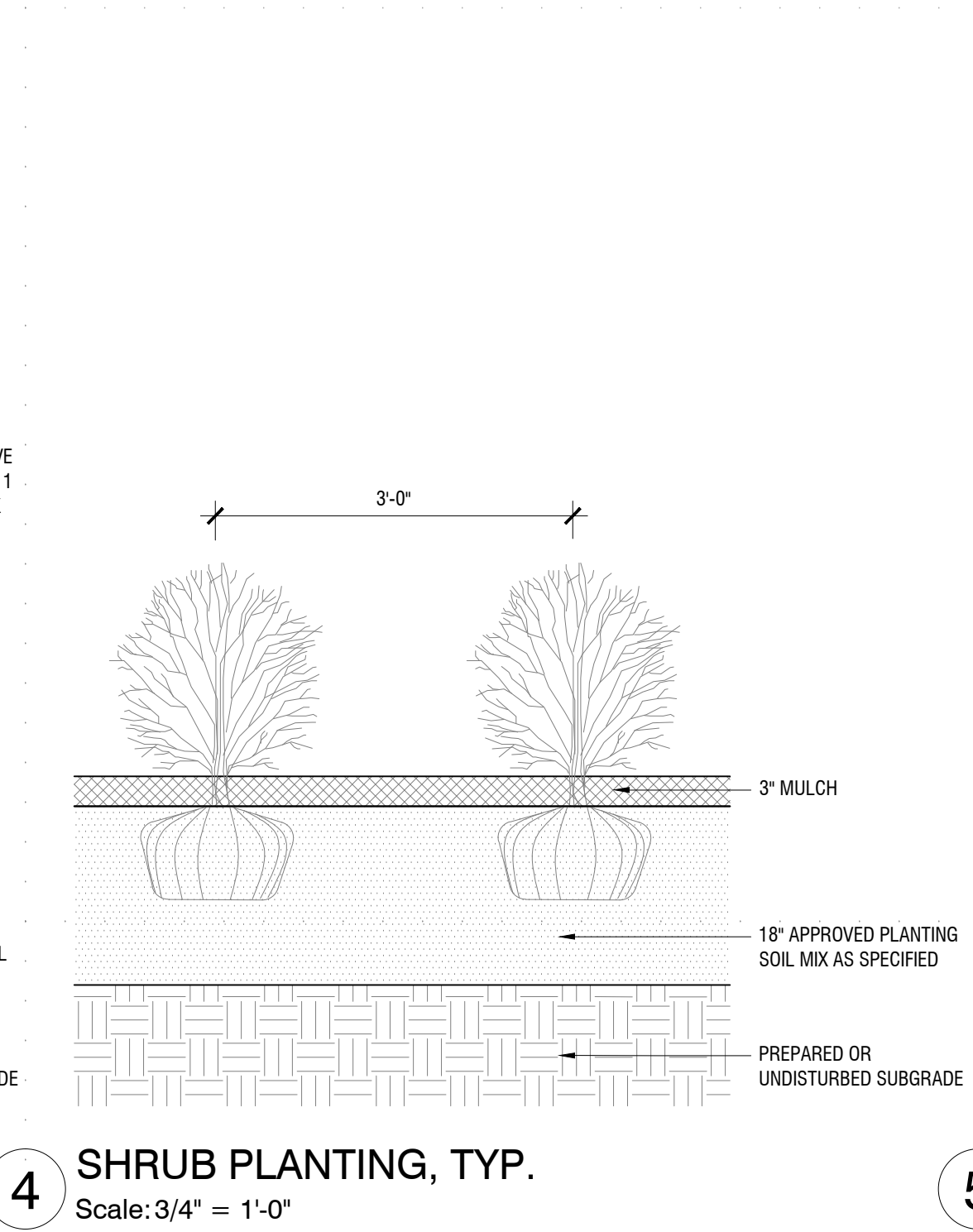
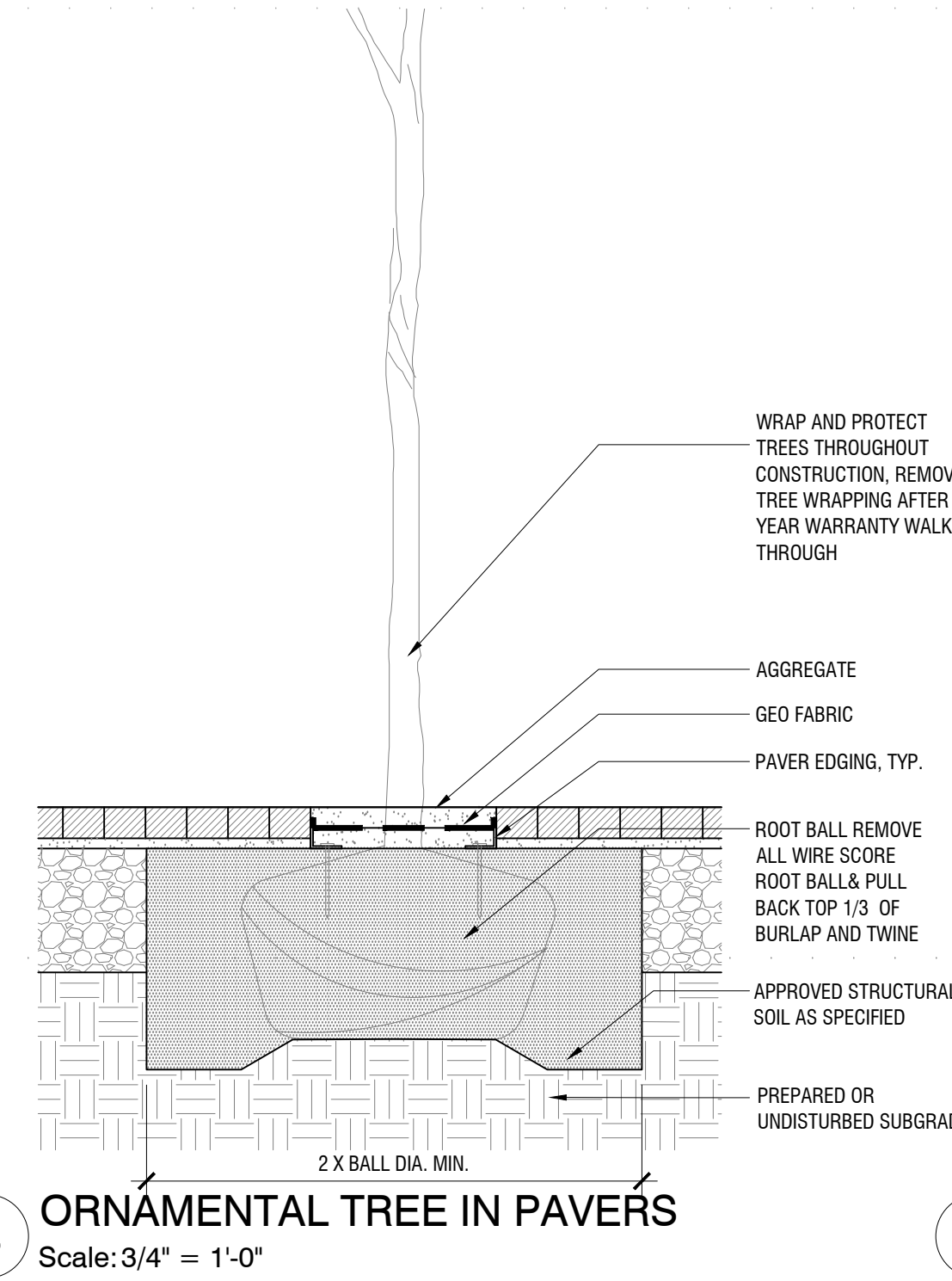
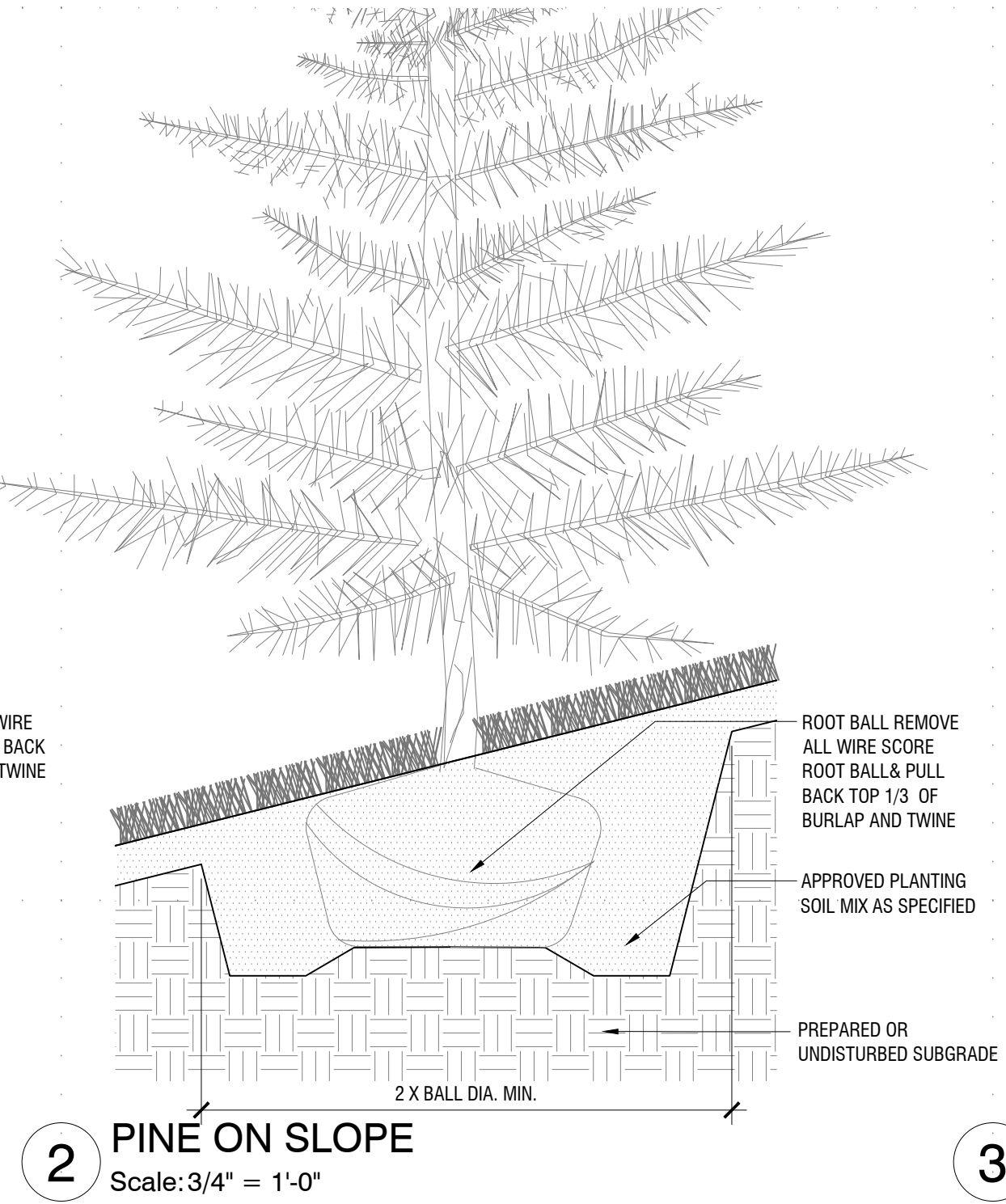
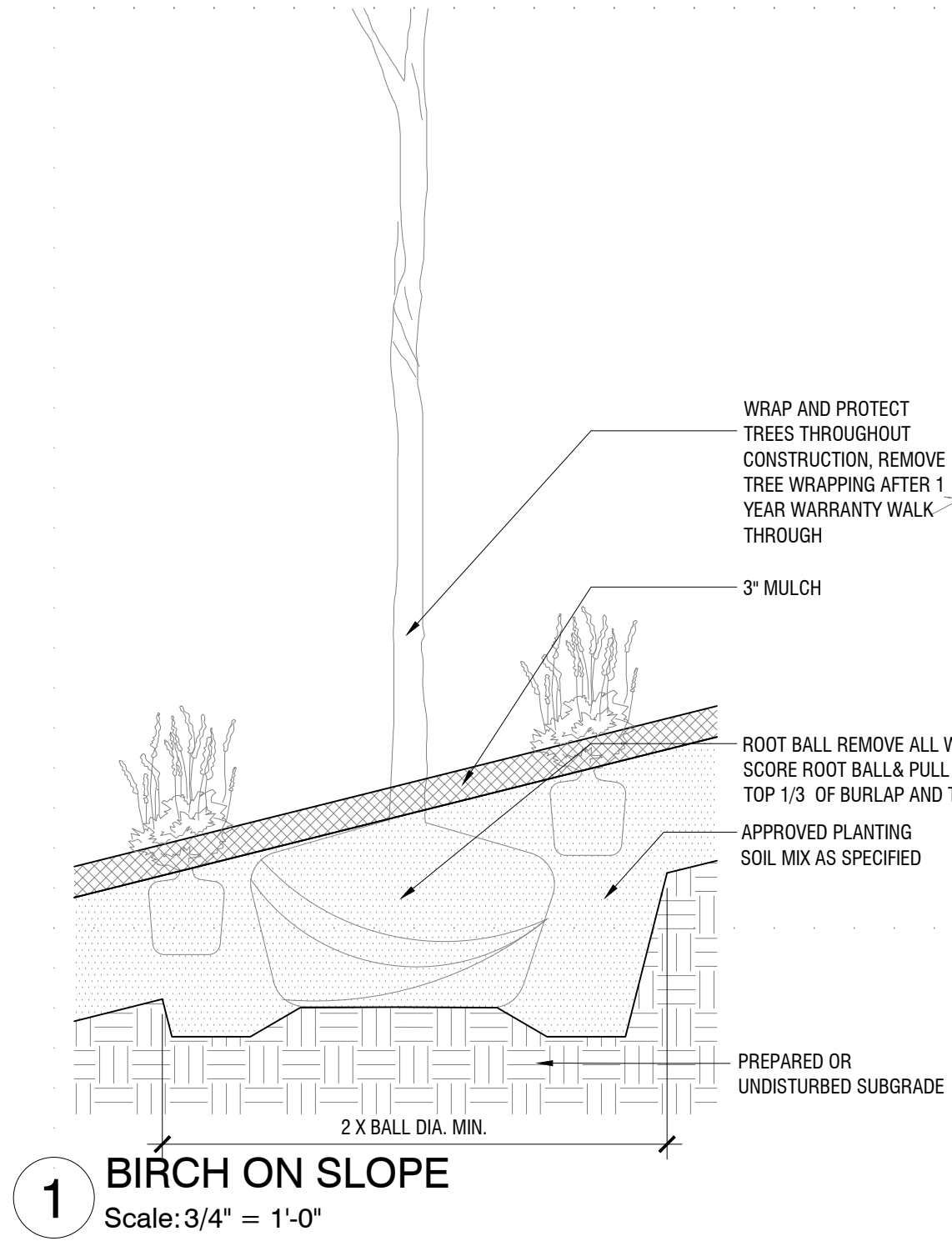
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PAVING & EDGING & DRAIN DETAILS

L601

sheet number





**IRVINE RESIDENCE**  
**HPC FORMAL REVIEW**  
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PLANTING DETAILS