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 BY: _____

Interior Remodeling - Residential Restoration

344 SUMMIT AVENUE

Saint Paul, Minnesota

DRAWING INDEX

- A0.1 Site Plan/Code Information
- A1.0 Lower Level Demolition & Floor Plan
- A1.1 First Floor Demolition & Floor Plan
- A1.2 Second Floor Demolition & Floor Plan
- A1.3 Third Floor Demolition & Floor Plan
- A2.0 Building Elevation

PROJECT DESCRIPTION

Interior Remodeling to restore historic single family residence (formerly occupied by College of Visual Arts) to Residential (R-1) Occupancy as permitted by Conditional Use Permit. Scope of work involves adding new Kitchens, new Bathrooms and related repl./restoration work to accommodate (1) One-Bedroom Living Units.

CODE

- 2007 Minnesota State Building Code (Includes 2006 International Building Code with Minnesota amendments)
- 2003 Minnesota State Building Conservation Code (Includes 2000 Guidelines for the Rehabilitation of Existing Buildings)

OCCUPANCY

Residential - Boutique Bed & Breakfast (R-1)

BUILDING HEIGHTS AND AREAS

| ACTUAL BUILDING AREA | |
|----------------------|------------------|
| Basement | 6,313 SF |
| First Floor | 4,887 SF |
| Second Floor | 4,442 SF |
| Third Floor | 3,856 SF |
| Total | 19,718 SF |

ACTUAL BUILDING HEIGHT
 3 Stories w/ Basement

Building Height and Area deemed acceptable per MSBCC Section 502.1.2

FIRE PROTECTION SYSTEMS

Fire Alarm System to meet requirements of MSBCC Section 408.

MEANS OF EGRESS

Total Occupant Load: 66

| No. OF EXITS | |
|-----------------------|---|
| Required per floor: | 2 |
| Provided - Basement: | 3 |
| Provided - 1st Floor: | 4 |
| Provided - 2nd Floor: | 2 |
| Provided - 3rd Floor: | 2 |

Exit Access Travel Distance: 200' Max.

Common Path of Egress Travel: 75' Max.

See Code Plan for Additional Information

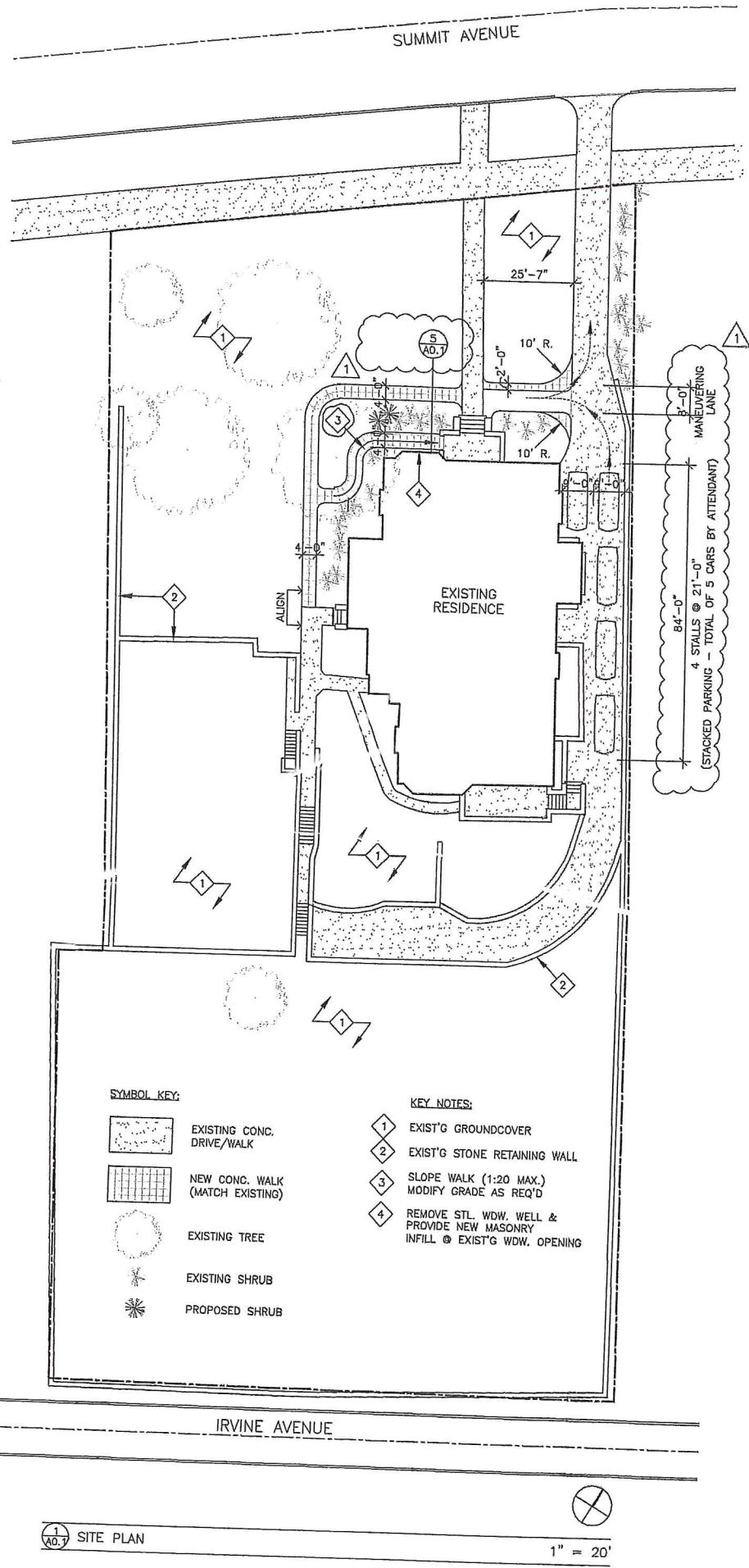
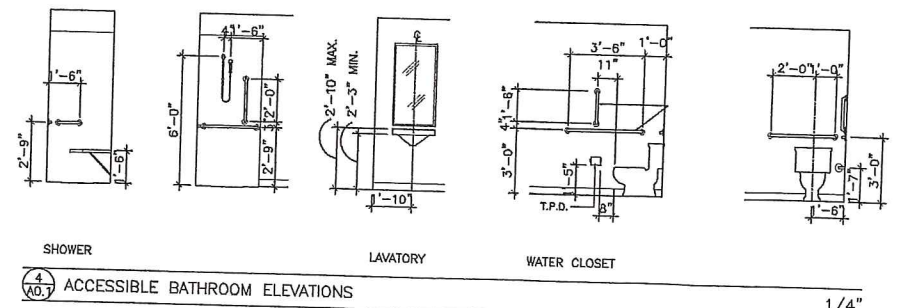
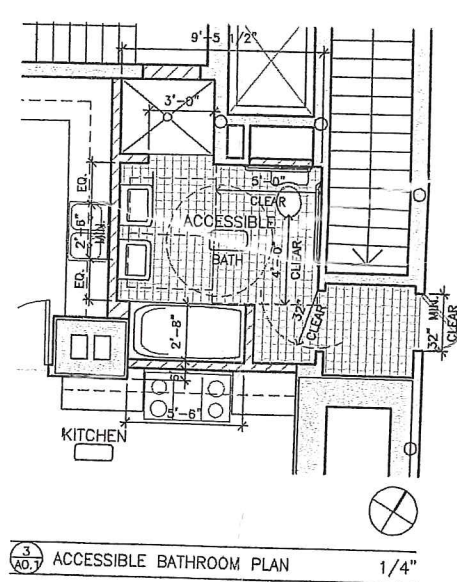
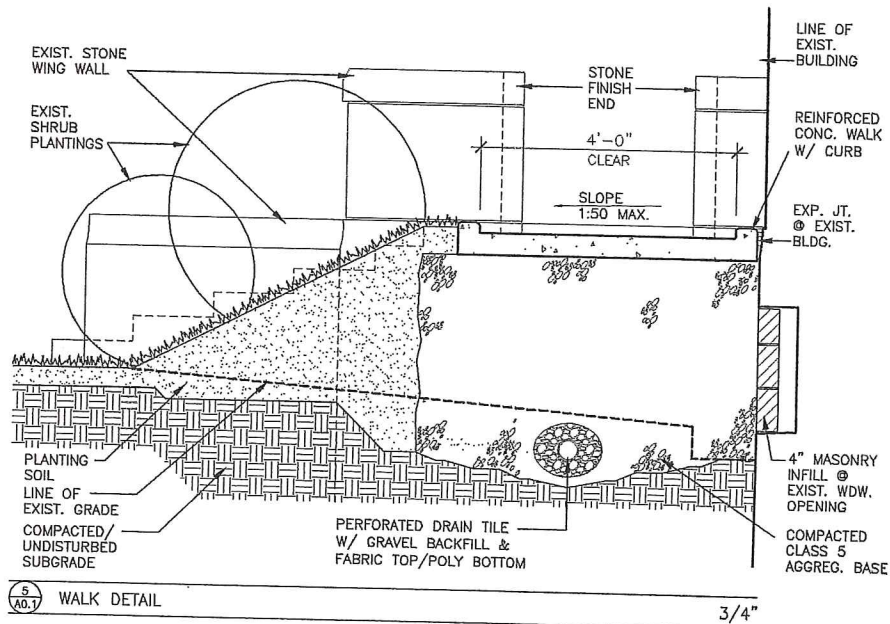
OCCUPANT CLASSIFICATION
 (IBC Section 302)

| Basement | | | |
|------------------------|-------------|-----------|-----------|
| Area | Load Factor | Occupants | |
| Residential | 2431 | 200 gross | 13 |
| Mech./Storage/Equip. | 669 | 300 gross | 3 |
| Total Occupants | | | 16 |

| First Floor | | | |
|------------------------|-------------|-----------|-----------|
| Area | Load Factor | Occupants | |
| Residential | 2634 | 200 gross | 14 |
| Office | 129 | 100 gross | 2 |
| Kitchen | 190 | 200 gross | 1 |
| Mech./Storage/Equip. | 54 | 300 gross | 1 |
| Total Occupants | | | 18 |

| Second Floor | | | |
|------------------------|-------------|-----------|-----------|
| Area | Load Factor | Occupants | |
| Residential | 3120 | 200 gross | 16 |
| Mech./Storage/Equip. | 11 | 300 gross | 1 |
| Total Occupants | | | 17 |

| Third Floor | | | |
|------------------------|-------------|-----------|-----------|
| Area | Load Factor | Occupants | |
| Residential | 2794 | 200 gross | 14 |
| Mech./Storage/Equip. | 12 | 300 gross | 1 |
| Total Occupants | | | 15 |



- SYMBOL KEY:**
- [Pattern] EXISTING CONC. DRIVE/WALK
 - [Pattern] NEW CONC. WALK (MATCH EXISTING)
 - [Symbol] EXISTING TREE
 - [Symbol] EXISTING SHRUB
 - [Symbol] PROPOSED SHRUB
- KEY NOTES:**
- 1 EXIST'G GROUNDCOVER
 - 2 EXIST'G STONE RETAINING WALL
 - 3 SLOPE WALK (1:20 MAX.) MODIFY GRADE AS REQ'D
 - 4 REMOVE STL. WDW. WELL & PROVIDE NEW MASONRY INFILL @ EXIST'G WDW. OPENING

REVISION: 24 SEP 2014

DATE: 21 APR 2014
 DRAWN: BROWN
 CHECKED: P.F.A.
 DESIGNED: P.F.A.
 REG. NO.: 459 NO.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Architect/Engineer under the laws of the State of Minnesota.
 P. F. A.
 P. F. A.
 P. F. A.
 Date: 21 APR 2014 Reg. No. 9933

MECHANICAL CONSULTANTS
 (COMPANY NAME)
 (Address)
 (City, State, Zip)
 (Phone)

ELECTRICAL CONSULTANTS
 (COMPANY NAME)
 (Address)
 (City, State, Zip)
 (Phone)

CIVIL CONSULTANTS
 (COMPANY NAME)
 (Address)
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STRUCTURAL CONSULTANTS
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 (Address)
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1. cGlobe Curious Lucie Architects, Inc.
 1000 5th Street, Suite 400
 St. Paul, MN 55102
 651.222.9451

INTERIOR REMODELING - RESIDENTIAL RESTORATION
 344 SUMMIT AVENUE
 ST. PAUL, MN 55102

SHEET NO. A0.1
 SHEET TITLE: SITE PLAN/CODE INFORMATION

PLAN NOTES:

- 1 NEW BATHROOM - PROVIDE MECH. ROUGH-IN (VFY. REQUIREMENTS W/ OWNER) & PREP FLR/WALLS/CLG FOR NEW FINISH.
- 2 NEW KITCHEN - PROVIDE MECH. ROUGH-IN (VFY. REQUIREMENTS W/ OWNER) & PREP FLR/WALLS/CLG FOR NEW FINISH & CABINETRY INSTALLATION.
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- 6 FUTURE GAS LOG, BY SEPARATE PERMIT
- 7 NEW DOOR & FRAME WITH RATING OF 45 MIN. FIRE PROTECTION FOR FUTURE OCCUPANCY SEPARATION
- 8 FURR EXIST. WALL WITH NEW MTL. FURR'G CHANNELS & GYP. BD.
- 9 NEW WHIRLPOOL BATH - PROVIDE MECH. ROUGH-IN (VFY. REQUIREMENTS W/ OWNER) & PREP SURROUNDING FLR/WALLS/CLG FOR NEW FINISH.
- 10 FUTURE FIREPLACE, GAS, BY SEPARATE PERMIT
- 11 RELOCATE EXIST. DOOR & FRAME SALVAGED FROM DEMO.
- 12 FUTURE CASEWORK, BY OWNER
- 13 FUTURE CONC. FLR. SLAB & ENCLOSED PORCH, BY OWNER
- 14 EXISTING ROOF ACCESS

PLAN KEY:

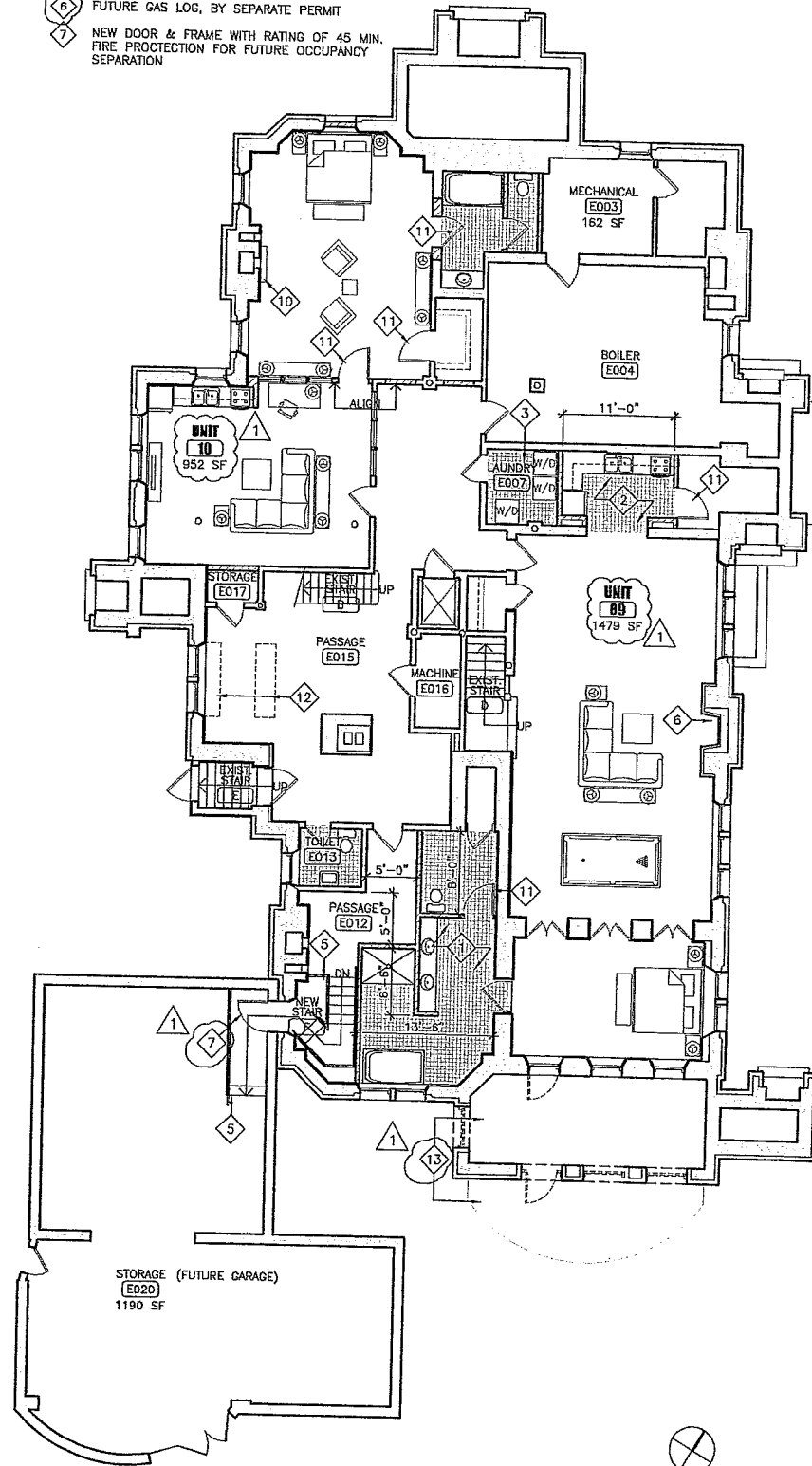
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- EXIST. WALL TO BE REMOVED
- NEW WALL - FULL HEIGHT
- NEW/RELOCATED DOOR & FRAME
- EXIST. DOOR & FRAME TO REMAIN
- EGRESS PATH:
 - No. of OCCUPANTS
 - EXIT/STAIR / EXIT/STAIR
 - WIDTH PROVIDED / WIDTH REQUIRED
- LIVING UNITS SHADED (REFERENCE ONLY)
- DESIGNATED EXIT

GENERAL NOTES:

1. MECHANICAL, ELECTRICAL, PLUMBING & FIRE LIFE SAFETY N.I.C. THIS SCOPE OF WORK TO BE PERFORMED AS DESIGN BUILD SERVICES BY OWNER UNDER SEPARATE PERMIT.
2. NO STRUCTURAL MODIFICATIONS TO OCCUR DURING CONSTRUCTION.
3. PROVIDE CONSTRUCTION MATERIALS CONSISTENT WITH THE CONSTRUCTION TYPE OF EXISTING BUILDING.

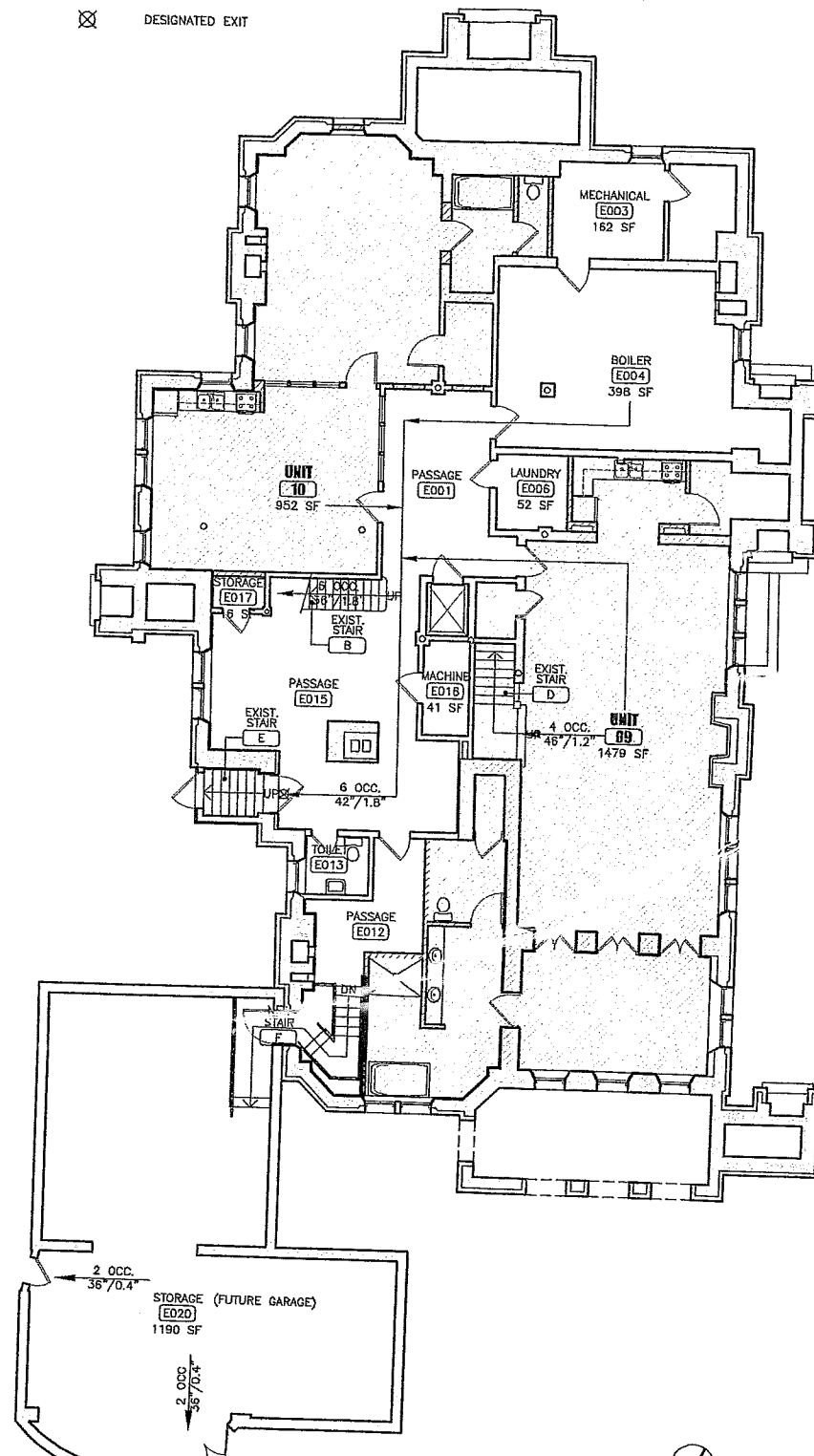
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- 2 REMOVE EXIST. EDUCATIONAL SPACES AS SHOWN, INCL. MTL. FRAMED PARTITIONS (FULL HT.), FLR. FINISHES, CEILING, DOORS/FRAMES/HWDR, ALL ELEC. FIXT. & MECH. EQUIP.
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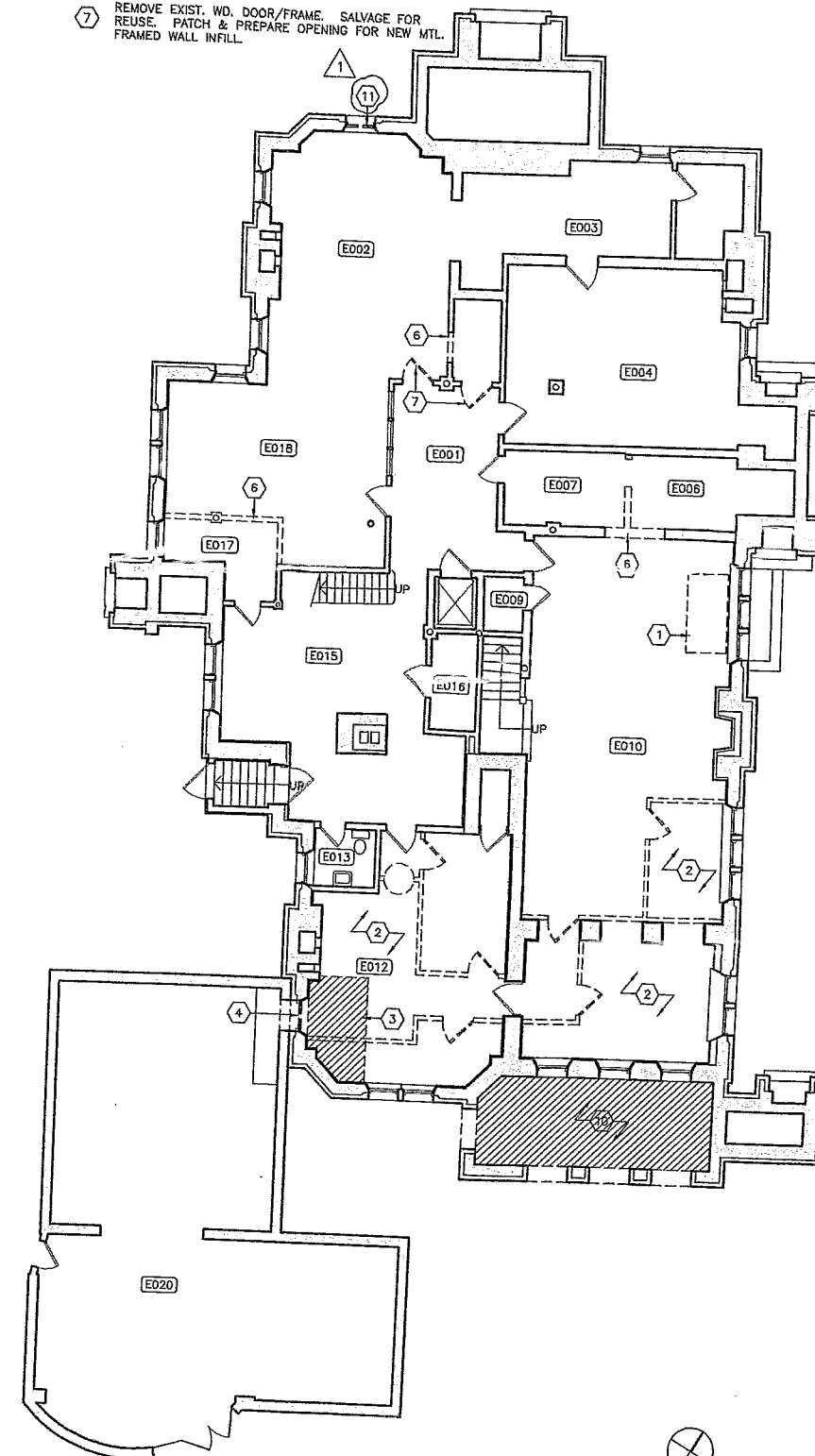
3 (A1.0) BASEMENT RESIDENTIAL PLAN

1/8"



2 (A1.0) BASEMENT EGRESS/CODE PLAN

1/8"



1 (A1.0) BASEMENT DEMOLITION PLAN

1/8"

INTERIOR REMODELING - RESIDENTIAL RESTORATION

344 SUMMIT AVENUE

ST. PAUL, MN 55102

SHEET TITLE: BASEMENT PLANS

A1.0

SHEET NO.



McGuire Courneau Lucke Architects, Inc.
6 West 5th Street, Suite 400
Saint Paul, MN 55102
651.222.9451

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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

POURCE F. MCGUIRE
Date: 21 APR 2014 Page No.: 2033

REVISION
DATE: 21 APR 2014
DRAWN: DRAWN
CHECKED: CHECKED
P.F.M.: P.F.M.
JOB NO.: JOB NO.

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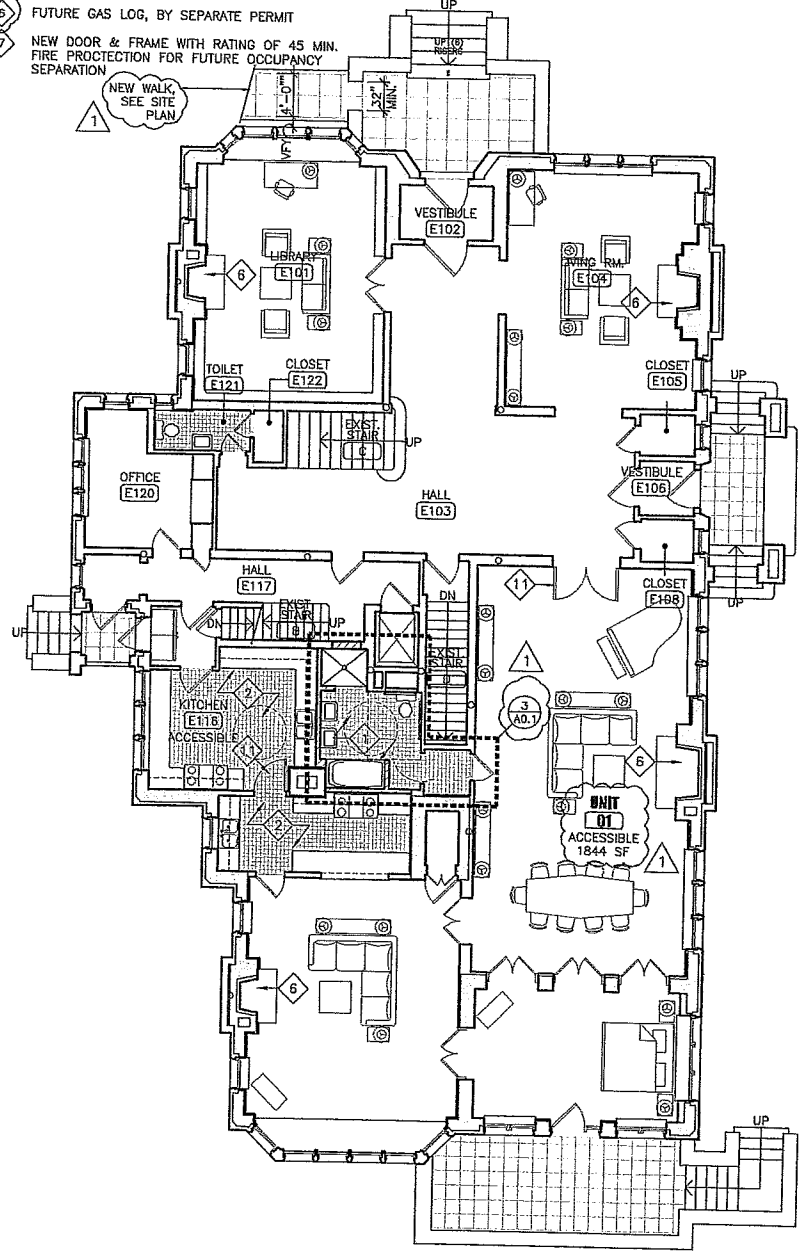
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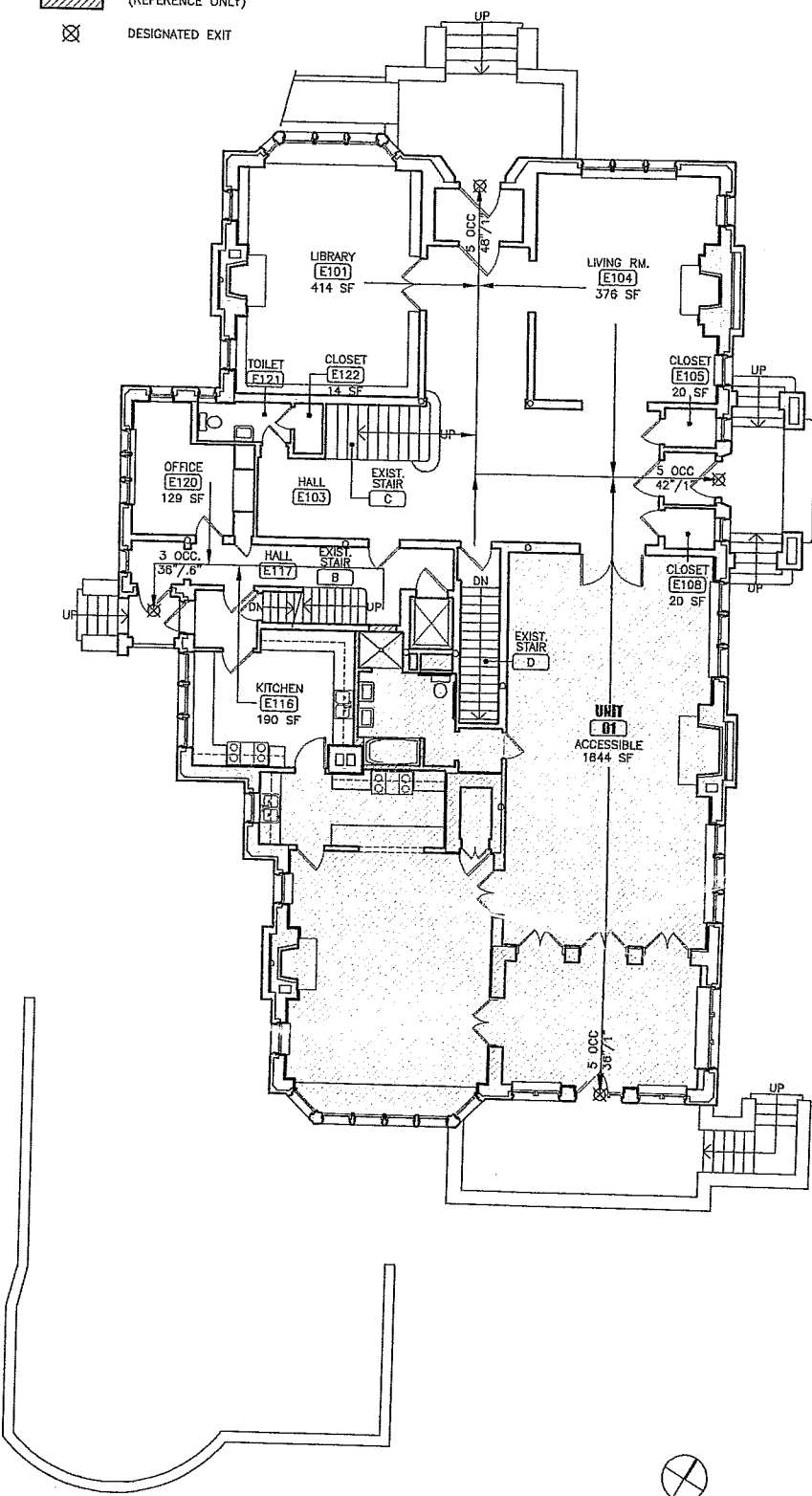
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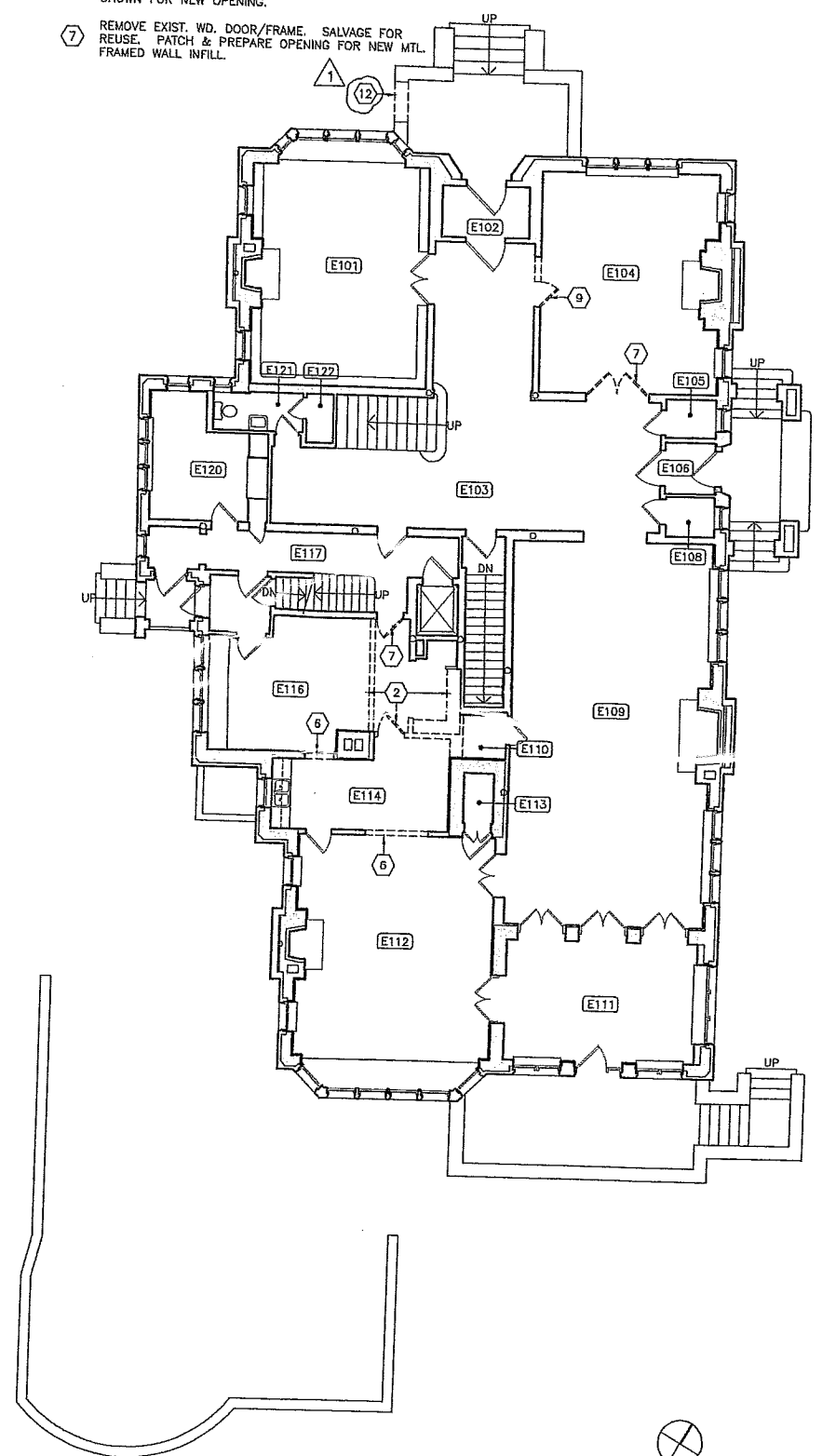
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3 AT.1 FIRST FLOOR RESIDENTIAL PLAN 1/8"



2 AT.1 FIRST FLOOR EGRESS/CODE PLAN 1/8"



1 AT.1 FIRST FLOOR DEMOLITION PLAN 1/8"

SHEET NO. **A1.1**
 INTERIOR REMODELING - RESIDENTIAL RESTORATION
344 SUMMIT AVENUE
 ST. PAUL, MN 55102
 SHEET TITLE FIRST FLOOR PLANS
 REG. NO. 9833
 DATE 21 APR 2014
 DRAWN B.L.F.
 CHECKED P.F.M.
 JOB NO.
 I hereby certify that this plan was prepared by me and that I am a duly Licensed Architect/Engineer under the laws of the State of Minnesota.
 Patrick F. McGuire
 Patrick F. McGuire
 Date: 21 APR 2014 Reg. No. 9833
 MECHANICAL CONSULTANTS (COMPANY NAME) (Address) (City, State, Zip) (Phone)
 CIVIL CONSULTANTS (COMPANY NAME) (Address) (City, State, Zip) (Phone)
 STRUCTURAL CONSULTANTS (COMPANY NAME) (Address) (City, State, Zip) (Phone)

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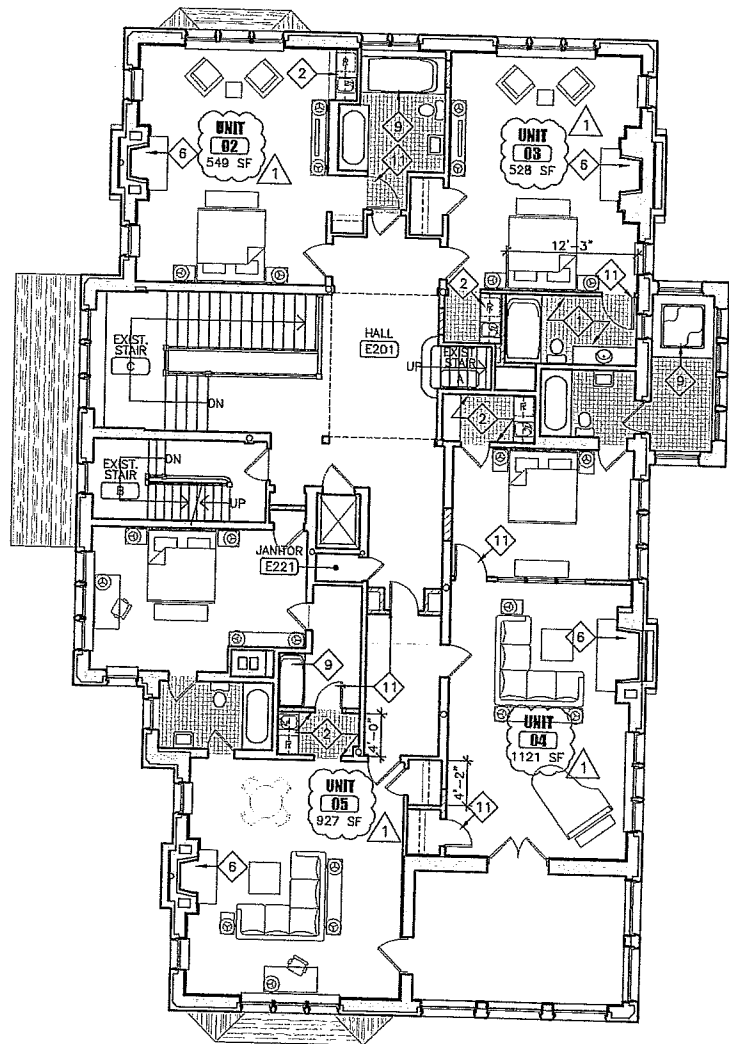
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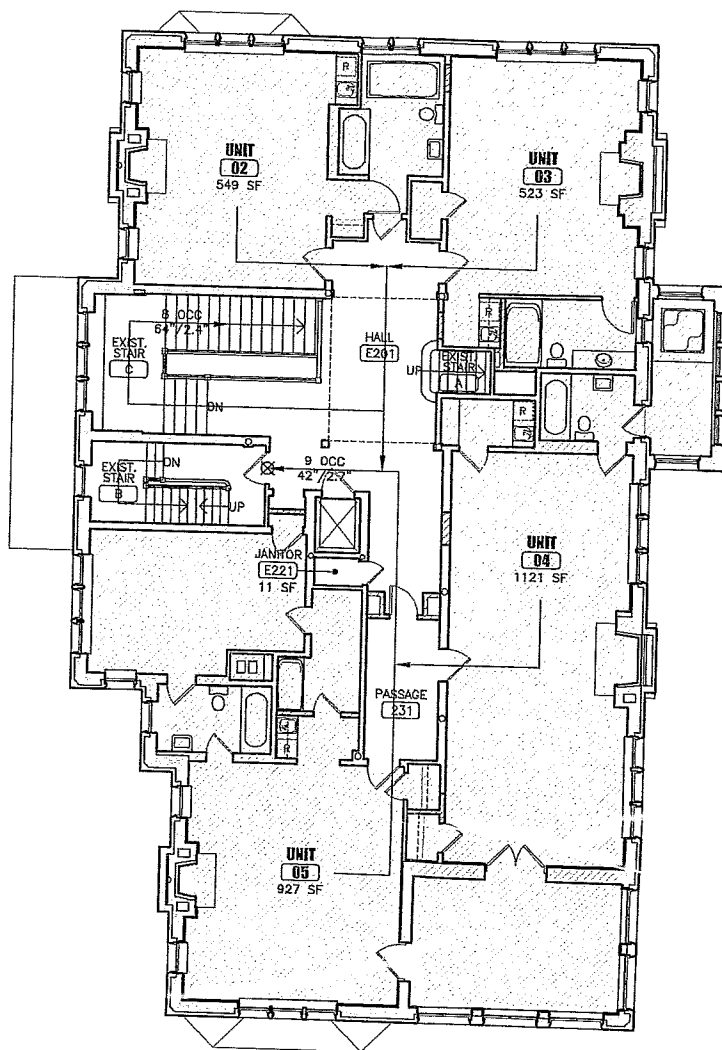
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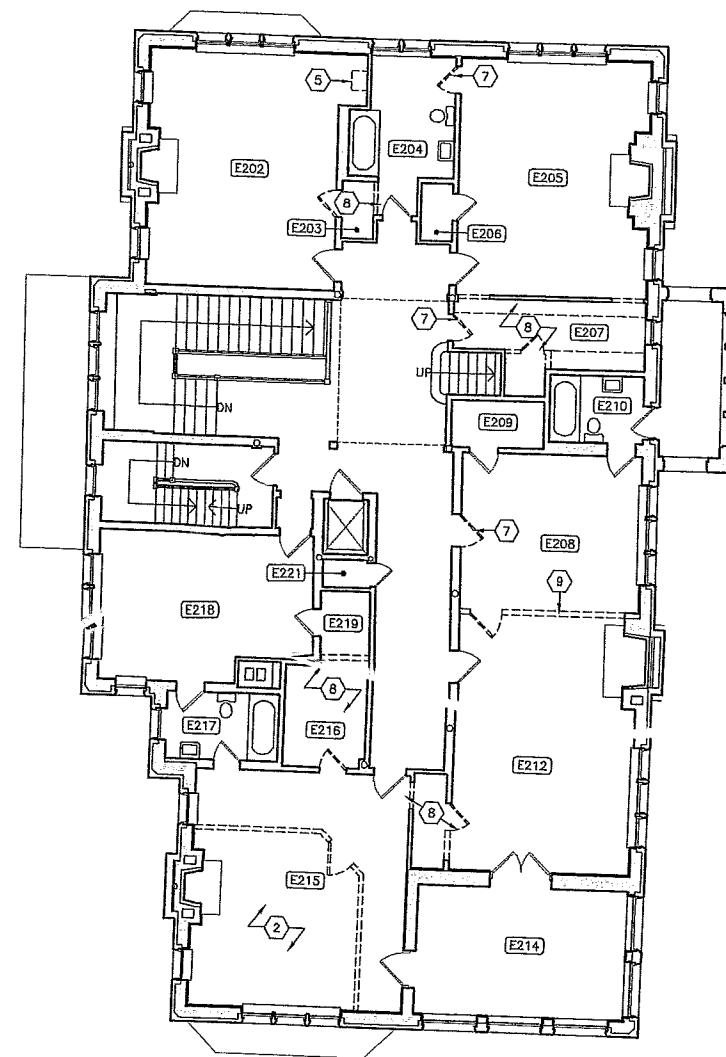
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3 SECOND FLOOR RESIDENTIAL PLAN 1/8"



2 SECOND FLOOR EGRESS/CODE PLAN 1/8"



1 SECOND FLOOR DEMOLITION PLAN 1/8"

REVISIONS
24 SEP 2014
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Robert E. McCleary
ROBERT E. McCleary, Reg. No. 7633
Date: 21 APR 2014

| | |
|--|--|
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AMH

McClave Courteau, Inc. Architects, Inc.
6 West 5th Street, Suite 400
Saint Paul, MN 55102
(651)222-2461

INTERIOR REMODELING - RESIDENTIAL RESTORATION
344 SUMMIT AVENUE
ST. PAUL, MN 55102

SHEET TITLE SECOND FLOOR PLANS

A1.2

PLAN NOTES:

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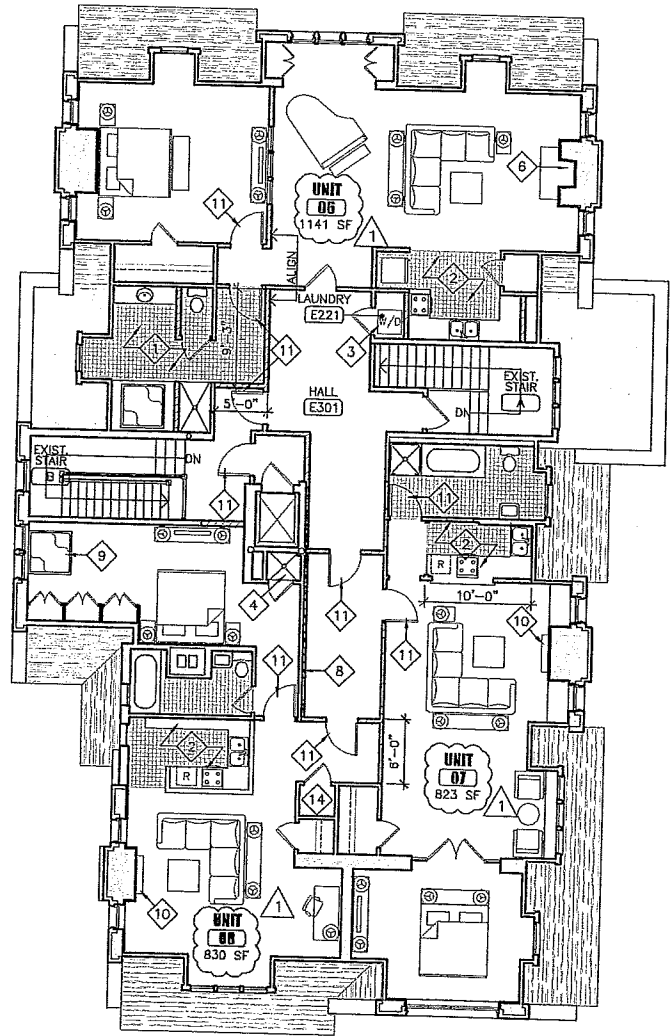
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GENERAL NOTES:

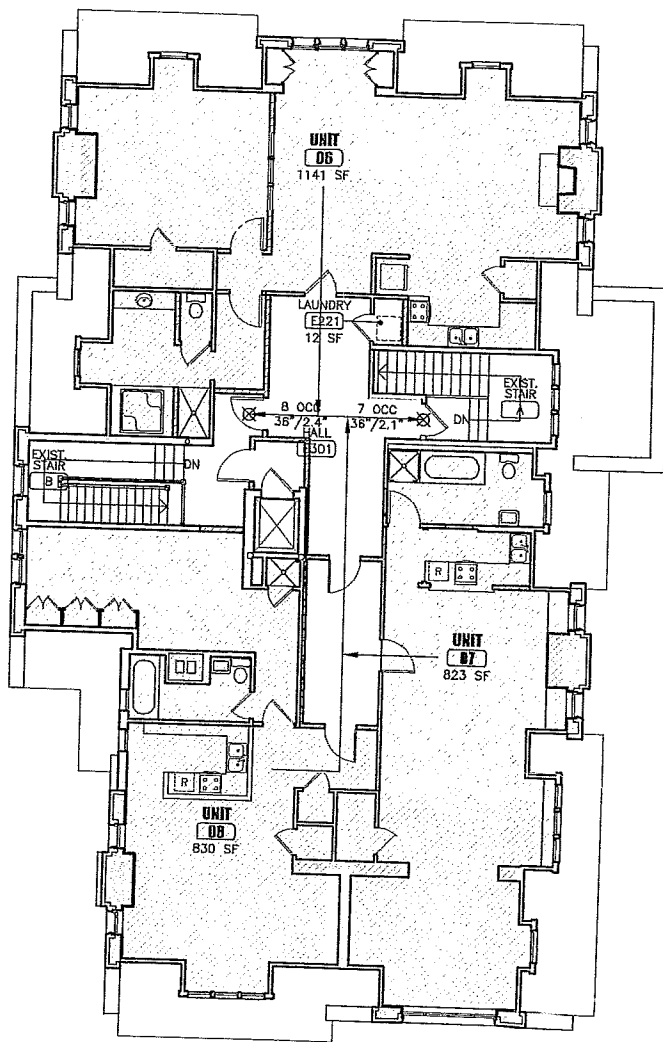
- 1.) MECHANICAL, ELECTRICAL, PLUMBING & FIRE LIFE SAFETY N.I.C. THIS SCOPE OF WORK TO BE PERFORMED AS DESIGN BUILD SERVICES BY OWNER UNDER SEPARATE PERMIT.
- 2.) NO STRUCTURAL MODIFICATIONS TO OCCUR DURING CONSTRUCTION.
- 3.) PROVIDE CONSTRUCTION MATERIALS CONSISTENT WITH THE CONSTRUCTION TYPE OF EXISTING BUILDING.

DEMOLITION NOTES:

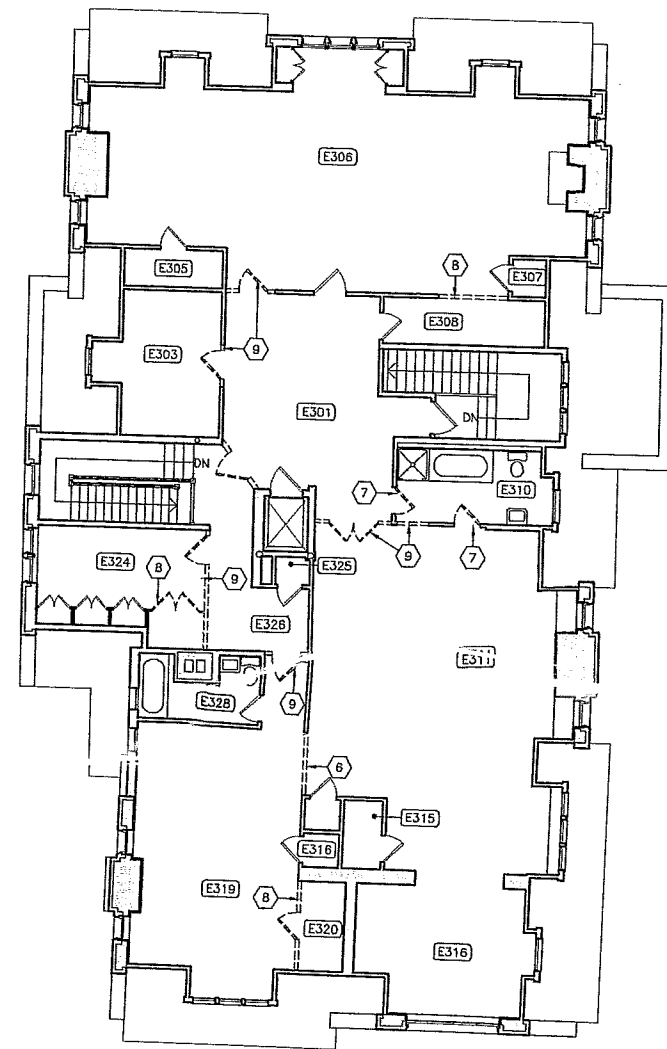
- 1 REMOVE IN ITS ENTIRETY EXIST. SUPPLEMENTAL VENTILATION SYSTEM.
- 2 REMOVE EXIST. EDUCATIONAL SPACES AS SHOWN, INCL. MTL. FRAMED PARTITIONS (FULL HT.), FLR. FINISHES, CEILINGS, DOORS/FRAMES/HDWR, ALL ELEC. FIXT. & MECH. EQUIP.
- 3 REMOVE PORTION OF EXIST. CONC. FLOOR SLAB (SHADED) & EXCAVATE SUBGRADE FOR NEW STAIR.
- 4 REMOVE EXIST. WD. FRAMED WINDOW & PORTION OF EXIST. MAS. WALL AS SHOWN FOR NEW OPENING.
- 5 REMOVE EXIST. LAVATORY SINK KITCHEN AS SHOWN FOR NEW CABINETRY, COUNTER & SINK.
- 6 REMOVE PORTION OF EXIST. MAS. TILE PARTITION AS SHOWN FOR NEW OPENING.
- 7 REMOVE EXIST. WD. DOOR/FRAME. SALVAGE FOR REUSE. PATCH & PREPARE OPENING FOR NEW MTL. FRAMED WALL INFILL.
- 8 REMOVE EXIST. CLOSET AS SHOWN, INCL. MAS. TILE WALLS, FLR. FINISHES, CEILINGS, ALL ELEC. FIXT & MECH. EQUIP.
- 9 REMOVE PORTION OF EXIST. PARTITION, INCL. WD. DOOR/FRAME AS SHOWN. SALVAGE DOOR/FRAME FOR REUSE.
- 10 REMOVE EXIST. YARD STORAGE (SHADED), INCL. PLYWD. INFILL @ OPENINGS & DOOR/HDWR. EXCAVATE SUBGRADE FOR FUTURE CONC. FLR. SLAB - VFY. T.O. SLAB ELEV. W/ OWNER.
- 11 REMOVE EXIST. WINDOW
- 12 REMOVE PORTION OF EXIST. STONE PORCH WALL FOR NEW WALK. SALVAGE STONE FOR REUSE.



3 THIRD FLOOR RESIDENTIAL PLAN 1/8"



2 THIRD FLOOR EGRESS/CODE PLAN 1/8"



1 THIRD FLOOR DEMOLITION PLAN 1/8"

REVISION: 24 SEP 2014

DATE: 21 APR 2014

MECHANICAL CONSULTANTS: [Name], [Address], [City, State, Zip], [Phone]

ELECTRICAL CONSULTANTS: [Name], [Address], [City, State, Zip], [Phone]

CIVIL CONSULTANTS: [Name], [Address], [City, State, Zip], [Phone]

STRUCTURAL CONSULTANTS: [Name], [Address], [City, State, Zip], [Phone]

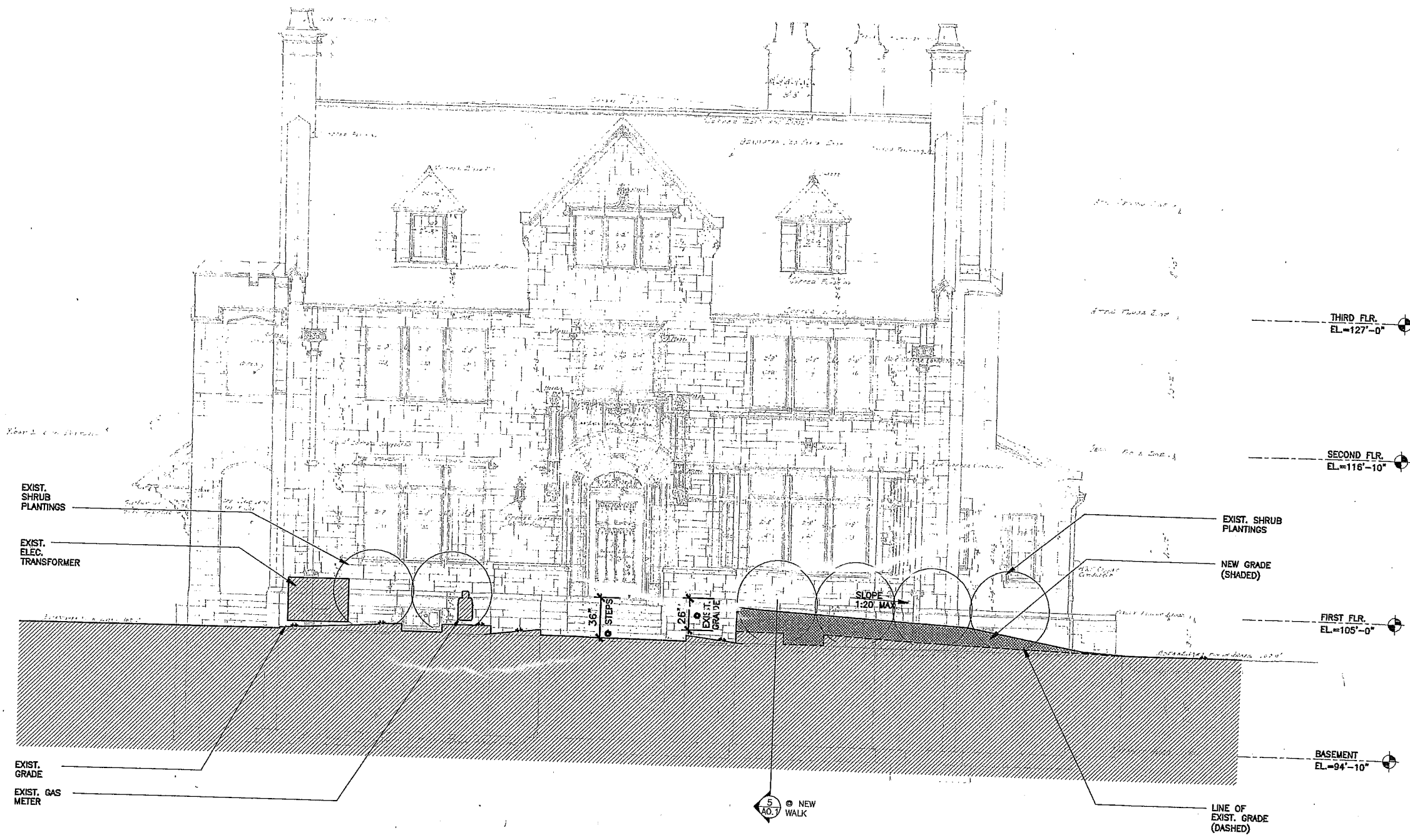
McGuire Courteau Lucke Architects, Inc.
6 West 5th Street, Suite 400
St. Paul, MN 55102
651.222.8461

INTERIOR REMODELING - RESIDENTIAL RESTORATION
344 SUMMIT AVENUE
ST. PAUL, MN 55102

SHEET NO. A1.3

SHEET TITLE: THIRD FLOOR PLANS

Reg. No. 9833
Date: 21 APR 2014



MR. W. P. DAVIDSON
 ARCHITECT
 3171 E. 20th St.
 St. Paul, MN 55102
 651.222.8461

1
 A2.0 BUILDING ELEVATION

1/4"

INTERIOR REMODELING - RESIDENTIAL RESTORATION
344 SUMMIT AVENUE
 ST. PAUL, MN 55102
 SHEET TITLE BUILDING ELEVATION

A2.0

MECHANICAL CONSULTANTS
 COMPANY NAME
 (City, State, Zip)
 (Phone)

ELECTRICAL CONSULTANTS
 COMPANY NAME
 (City, State, Zip)
 (Phone)

CIVIL CONSULTANTS
 COMPANY NAME
 (City, State, Zip)
 (Phone)

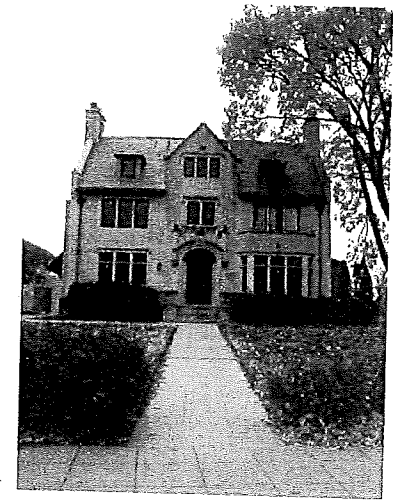
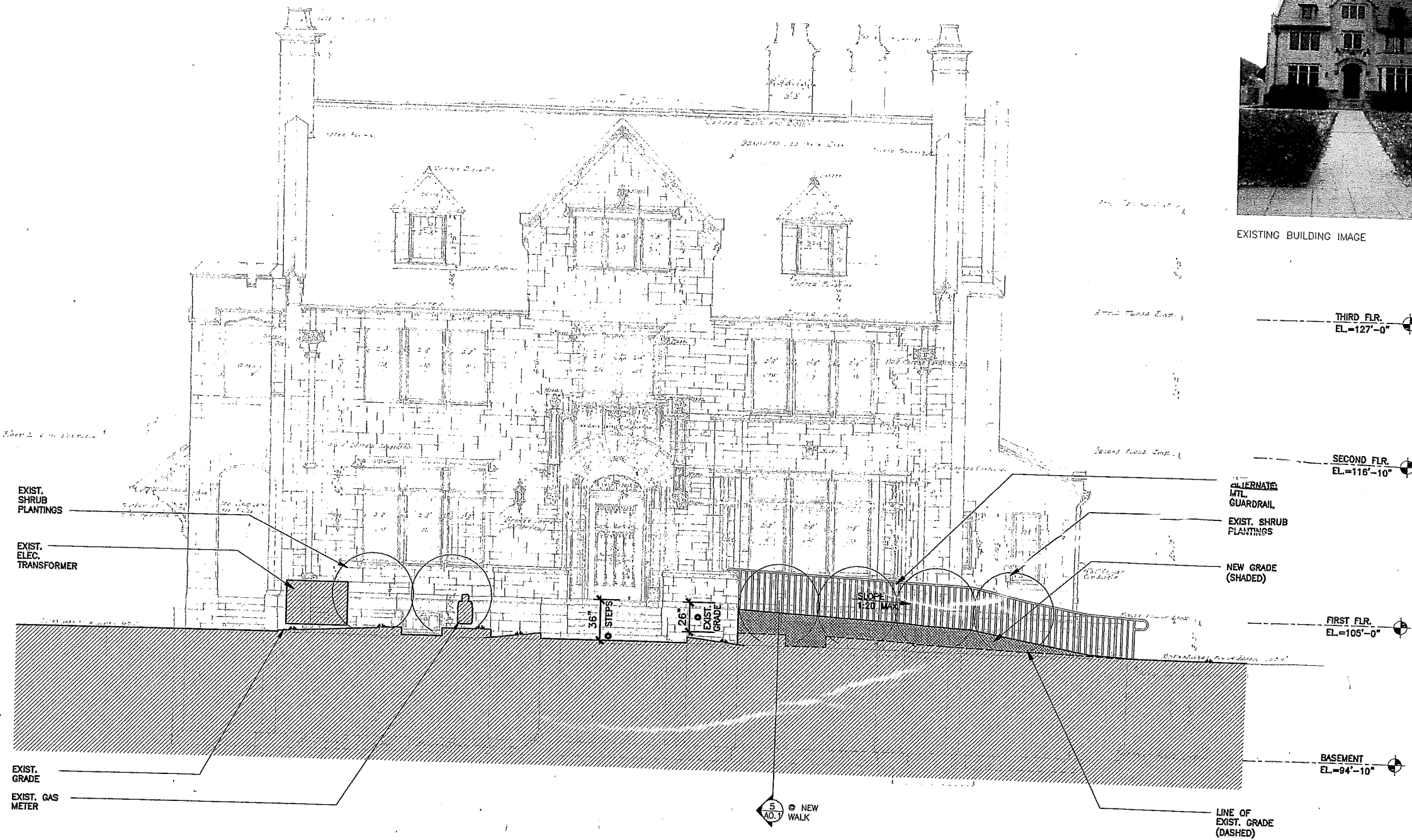
ARCHITECTURAL CONSULTANTS
 COMPANY NAME
 (City, State, Zip)
 (Phone)

McGuffee Courteau Lu, Inc. - Architects, Inc.
 6 West 9th Street, Suite 401
 Saint Paul, MN 55102
 651.222.8461

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Architect/Engineer under the laws of the State of Minnesota.
 P. F. MCGUFFEE
 P. F. MCGUFFEE
 Date: 21 APR 2014 Reg. No. 9533

DATE: 21 APR 2014
 DRAWN BY: B.L.F.
 CHECKED BY: P.F.M.
 JOB NO.

REVISION: 24 SEP 2014



EXISTING BUILDING IMAGE

House for MR. W. P. DAVIDSON
 NORTH ELEVATION
 1914
 1915

1/27 BUILDING ELEVATION - ALTERNATE

1/4"

SHEET NO. **A2.1**
 INTERIOR REMODELING - RESIDENTIAL RESTORATION
344 SUMMIT AVENUE
 ST. PAUL, MN 55102
 SHEET TITLE BUILDING ELEVATION - ALTERNATE

MECHANICAL CONSULTANTS
 COMPANY NAME
 ADDRESS
 CITY, STATE, ZIP
 (Phone)

ELECTRICAL CONSULTANTS
 COMPANY NAME
 ADDRESS
 CITY, STATE, ZIP
 (Phone)

CIVIL CONSULTANTS
 COMPANY NAME
 ADDRESS
 CITY, STATE, ZIP
 (Phone)

STRUCTURAL CONSULTANTS
 COMPANY NAME
 ADDRESS
 CITY, STATE, ZIP
 (Phone)

McCubbe Courteau Luc re Architects, Inc.
 8 West 9th Street, Suite 100
 St. Paul, MN 55102
 651.222.5461

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Architect/Engineer under the laws of the State of Minnesota.
 Patrick E. McCubbe
 Date 21 APR 2014 Reg. No. 9833

DATE 21 APR 2014
 DRAWN B.L.F.
 CHECKED P.E.M.
 JOB NO.

REVISED 24 SEP 2014

Interior Remodeling - Residential Restoration

344 SUMMIT AVENUE

Saint Paul, Minnesota

PROJECT DESCRIPTION

Interior Remodeling to restore historic single family residence (formerly occupied by College of Visual Arts) to Residential (R-1) Occupancy as permitted by Conditional Use Permit. Scope of work involves adding new kitchen, new bathrooms and related repair/restoration work to accommodate (1) One-Bedroom Living Unit.

CODE

2007 Minnesota State Building Code (includes 2006 International Building Code with Minnesota amendments)
 2003 Minnesota State Building Conservation Code (includes 2000 Guidelines for the Rehabilitation of Existing Buildings)

OCCUPANCY

Residential - Single Bed & Breakfast (R-1)

BUILDING HEIGHTS AND AREAS

ACTUAL BUILDING AREA

| | |
|--------------|------------------|
| Basement | 6,313 SF |
| First Floor | 4,887 SF |
| Second Floor | 4,662 SF |
| Third Floor | 3,856 SF |
| Total | 19,718 SF |

ACTUAL BUILDING HEIGHT
3 Stories w/ Basement

Building Height and Area deemed acceptable per MSBCC Section 902.1.2

FIRE PROTECTION SYSTEMS

Fire Alarm System to meet requirements of MSBCC Section 408.

MEANS OF EGRESS

Total Occupant Load: 66

NO. OF EXITS

| | |
|-----------------------|---|
| Required per Floor: | 2 |
| Provided - Basement: | 3 |
| Provided - 1st Floor: | 4 |
| Provided - 2nd Floor: | 2 |
| Provided - 3rd Floor: | 2 |

Full Access Travel Distance: 200' Max.

Common Path of Egress Travel: 75' Max.

See Code Plan for Additional Information

OCCUPANT CLASSIFICATION
(IBC Section 902)

Basement

| | Area | Load Factor | Occupants |
|------------------------|------|-------------|-----------|
| Residential | 2431 | 200 gross | 13 |
| Mech./Storage/Equip. | 669 | 300 gross | 3 |
| Total Occupants | | | 16 |

First Floor

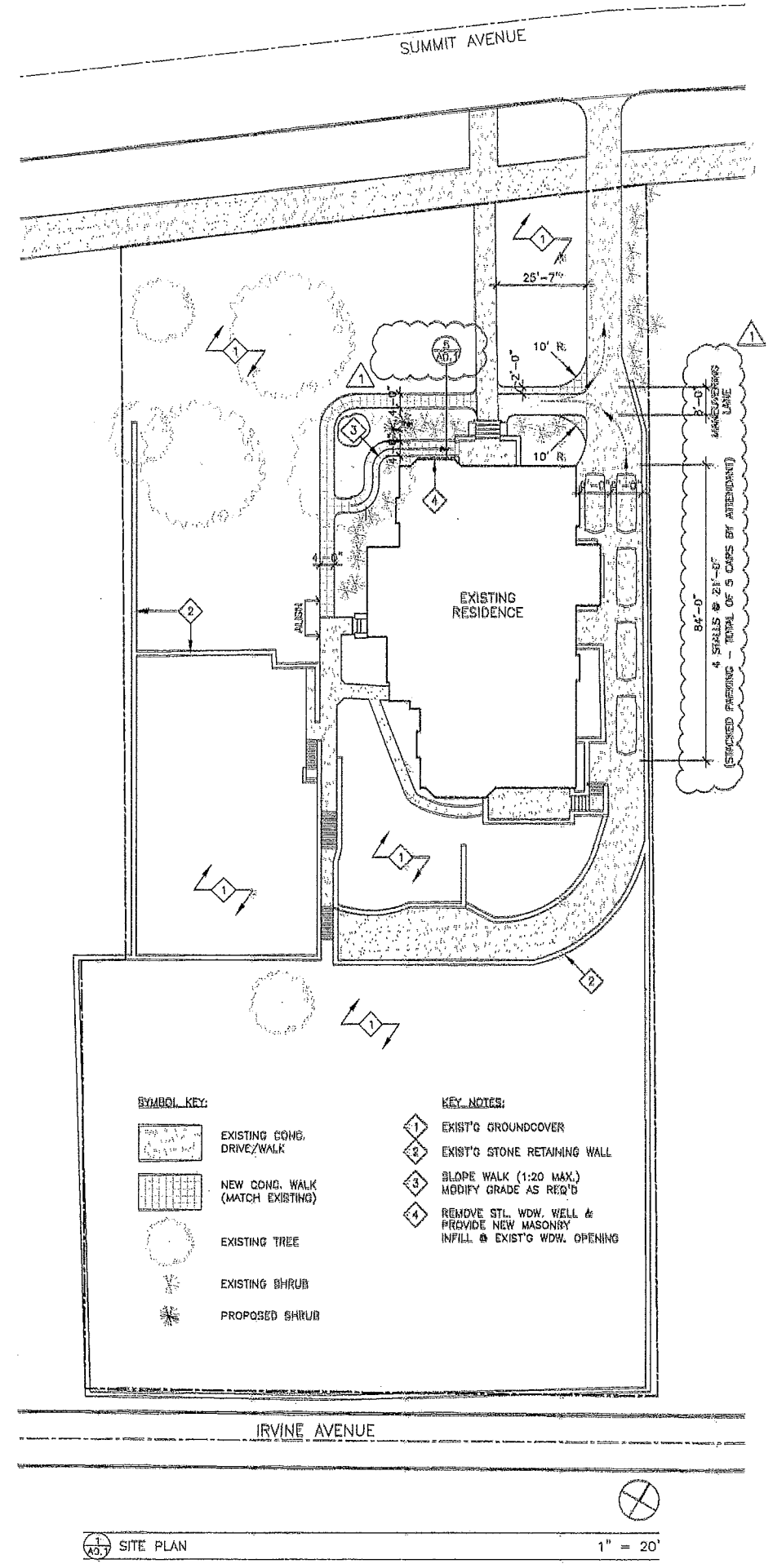
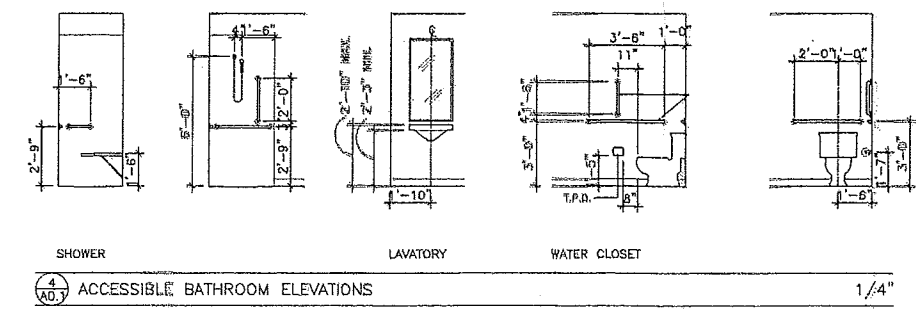
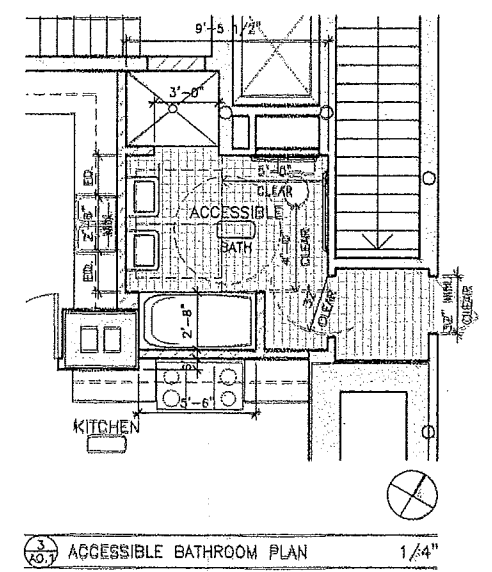
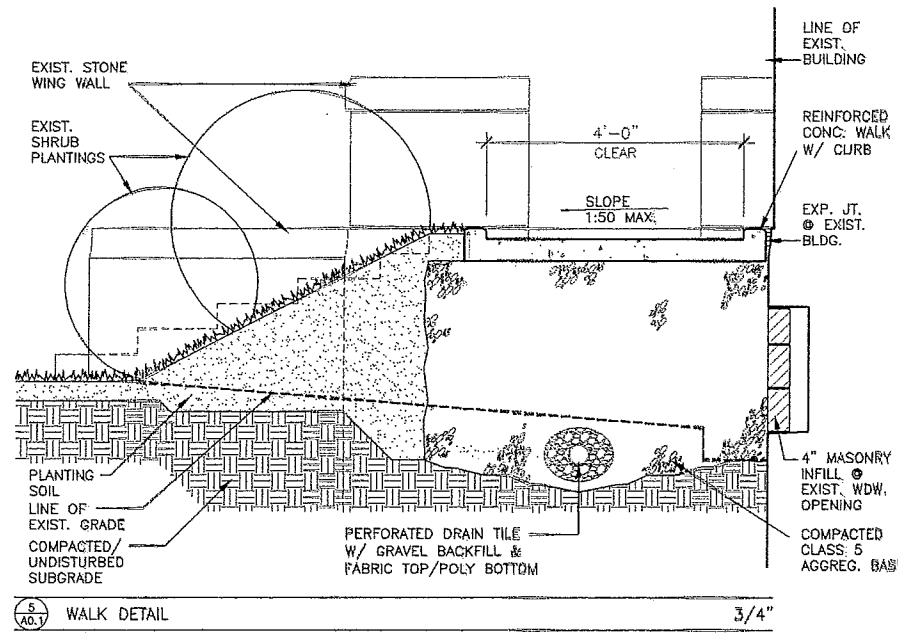
| | Area | Load Factor | Occupants |
|------------------------|------|-------------|-----------|
| Residential | 2634 | 200 gross | 14 |
| Office | 129 | 100 gross | 2 |
| Kitchen | 190 | 200 gross | 1 |
| Mech./Storage/Equip. | 54 | 300 gross | 1 |
| Total Occupants | | | 18 |

Second Floor

| | Area | Load Factor | Occupants |
|------------------------|------|-------------|-----------|
| Residential | 3120 | 200 gross | 16 |
| Mech./Storage/Equip. | 11 | 300 gross | 1 |
| Total Occupants | | | 17 |

Third Floor

| | Area | Load Factor | Occupants |
|------------------------|------|-------------|-----------|
| Residential | 2794 | 200 gross | 14 |
| Mech./Storage/Equip. | 12 | 300 gross | 1 |
| Total Occupants | | | 15 |



SHEET NO. **A0.1**
 INTERIOR REMODELING - RESIDENTIAL RESTORATION
 344 SUMMIT AVENUE
 ST. PAUL, MN 55102
 PREPARED BY: SEE PLAN/CODE INFORMATION
 PROJECTED BY: [Signature]
 DATE: 24 APR 2014
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 REGISTERED PROFESSIONAL ARCHITECT
 STATE OF MINNESOTA
 REG. NO. 23553
 FIRM NO. 23553