



321 IRVINE AVE



1 SITE IN CONTEXT

Scale:NTS

2 MODEL

Scale:NTS



3 EXISITING STREET VIEW

Scale:NTS



4 PROPOSED STREET VIEW

Scale:NTS

IRVINE RESIDENCE  
HPC FORMAL REVIEW  
321 IRVINE AVE, ST. PAUL, MN 55102

LANDSCAPE ARCHITECT

COEN + PARTNERS  
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print name: SHANE COEN

signature:

license no. date:

rev no. date description

3	10 02 2014	HPC FORMAL REVIEW
2	09 22 2014	SITE PLAN REVIEW REVISION
1	08 19 2014	SITE PLAN REVIEW

HPC FORMAL REVIEW

project: IRVINE RESIDENCE

date: 10 02 2014

scale: 1" = 10'-0"

drawn by: WJ

sheet title

COVER SHEET

000

sheet number

# PROJECT DESCRIPTION

Paula Schad and Bruce Lilly are proposing a new private residence for their family at 321 Irvine Avenue in St Paul. The parcel was created with a lot split from 322-324 Summit Avenue in 2007. It is an elevated lot that affords magnificent views of the City of St Paul and the Mississippi River Valley.

## Introduction:

“The criteria for our new family home focused on St. Paul, Summit Hill and a view of the river valley. While on a weekend walk last November, we discovered an undeveloped lot at 321 Irvine and immediately saw the potential for building a special home in our favorite part of our city. Although the location and the topography presented challenges, we also saw the chance to introduce great modern architecture to a neighborhood overflowing with great architecture of the late 19th and early 20th century.

To that end, we assembled the award winning design team of Architect David Salmela (Salmela Architect, Duluth) and Landscape Architect Shane Coen (Coen + Partners, Minneapolis) and charged them to create a plan to interpret and embrace all of the City’s guidelines while also advancing our own design values:

- Respectfully reference the historic context of the neighborhood without mimicking.
- Employ the highest standards of environmentally friendly construction practices.
- Minimize the overall footprint of the structure so as to move as little dirt as possible.
- Create the best architecture of our time.
- Realize a finished product thoughtfully positioned within the landscape and the historic context, but celebrates the present and enhances our city.”

## Design:

“The inspiration for 321 Irvine results from a study of the more than 10 architectural styles identified in the HPC guidelines and the relationship of the styles with each other. All of the designs of these homes are very different from each other but are very unique in the artistic assembly of their parts which relate to the pertinent rooms of each building. To reach a compatible consistent statement for a new home in this context, one would think you would repeat a style of the 10 identified styles or create a new style which has the same thoroughness and specific identities relating to the site, function

and separation of structures that display the same exuberance that the 10 styles have. Imitation is not the goal of the guidelines - some characteristics of all of these styles may be the intent of the vision.

The built model conveys a consistent stylistic progression to the 10 plus styles of the district which are all inconsistent with each other. So in a sense, the consistency of the district is the inconsistency of style and also the consistent introduction of varying exuberant individual designs. The three dimensional model conveys a scale, material, pattern of openings and creation of spaces - a present day interpretation of the progressive visual elements of this place.

## In our design,

- The response to width reduction responds to the site control of rainwater on this steep site. The width is driven by the width of a standard two stall garage which also reduces the scale of the house from the street.
- The bay-like cantilever of the 2nd and 3rd floors over the garage reduces the garage’s visual impact by recessing it from the street.
- The height of the street façade is less than 30’, maintaining massing that is consistent with the rest of the street; the 4th floor is set back 16’ to allow the massing to follow the slope of the site, maintaining a 30’ maximum height above grade.
- Varying opening proportions meet the suggested guidelines as well as relate to the precedents of the immediate neighboring building openings which depart from the favored vertical rectangles.
- The windows for energy purposes of present day requirements do differ in operation but again are within logical advancement of common sense progressive thought.
- The affordable exterior stucco material relates to nine of the 38 structures that are between 240 Summit (JJ Hill House) and 421 Summit (3-way stop) . In addition to the house directly west of the parcel, the two primary entrances to Irvine Avenue (Western Avenue and Ramsey Street) have stuccoed structures (400 Summit and 377 Ramsey).
- The carriage house type furniture shop and billiard room structure creates an entry common to many district homes - a classic formal entrance.
- Effort is made to minimize disturbance to the dramatic slope of the site, a series of retaining wall extend outward from the home. The walls define enclosed outdoor areas and are constructed of reinforced concrete, an affordable, structural material that conveys a practical solution to the challenges posed by a the site.

- The re-structuring of the site not only addresses stormwater, but leaves the site in a better ecological condition than prior to construction by infiltrating stormwater, stabilizing steep slopes and introducing native and adapted plant species.
- The landscape reinforces the geometry of the house, frames and enhances outdoor rooms, and celebrates native seasonality.”

## Conclusion:

“The three dimensional model conveys a unique related likeness to the spirit of the varying qualities of this historic district’s built environment. After studying our solution as our design process has evolved, I am convinced this project is the very essence of what a house in this area should be to create a logical present day vocabulary that fits and enhances the context of this wonderful urban place.”-- David Salmela

LEGAL DESCRIPTION:

The Easterly 10 feet of the Southerly 122.67 feet of Lot 16, Block 69, Dayton and Irvine's Addition to the City of St. Paul, Ramsey County, Minnesota;  
AND  
The Southerly 122.67 feet of Lot 5 and the Southerly 122.67 feet of that part of Lot 6, Drake's Subdivision of Lots 14 and 15, Block 69, Dayton and Irvine's Addition to the City of St. Paul lying Westerly of the following described line:

Commencing at a point on the Northerly line of said Lot 2 (the same being the Southerly line of Summit Avenue) distant 10.87 feet Easterly from the Northwestern corner of said Lot 2, running thence from said point of beginning in a straight line in a Southerly direction to a point in the Southerly line of said Lot 2, distant 9.13 feet Easterly from the Southwesterly corner of said Lot 2, running thence in a Southerly direction on a continuation of the above described line and in exactly the same direction to a point in the Southerly line of said Lot 6. Ramsey County, Minnesota,

Abstract Property

EASEMENTS

8. Declaration of Drainage and Utility Easement dated June 2, 2009 recorded October 30, 2009 as Document No. 4190071 AS SHOWN ON SURVEY

9. Variances shown in Document No. 2222690. NON SURVEY MATTER

10. Easements as shown in Document No. 3710139. AS SHOWN ON SURVEY

11. Variance as shown in Document No. 3746672. NON SURVEY MATTER

GENERAL NOTES:

1. The bearing system used is assumed.

2. The location of the underground utilities shown hereon, if any, are approximate only. PURSUANT TO MSA 216D CONTACT GOPHER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.

3. Site area = 9,992 square feet = 0.229 acres.

4. This survey was made on the ground.

5. In preparing this survey I have relied upon the supporting documents and the Commitment for Title Insurance issued by American Land Title Association, having an effective date of November 5, 2013 and bearing file number MT13-6954-R.

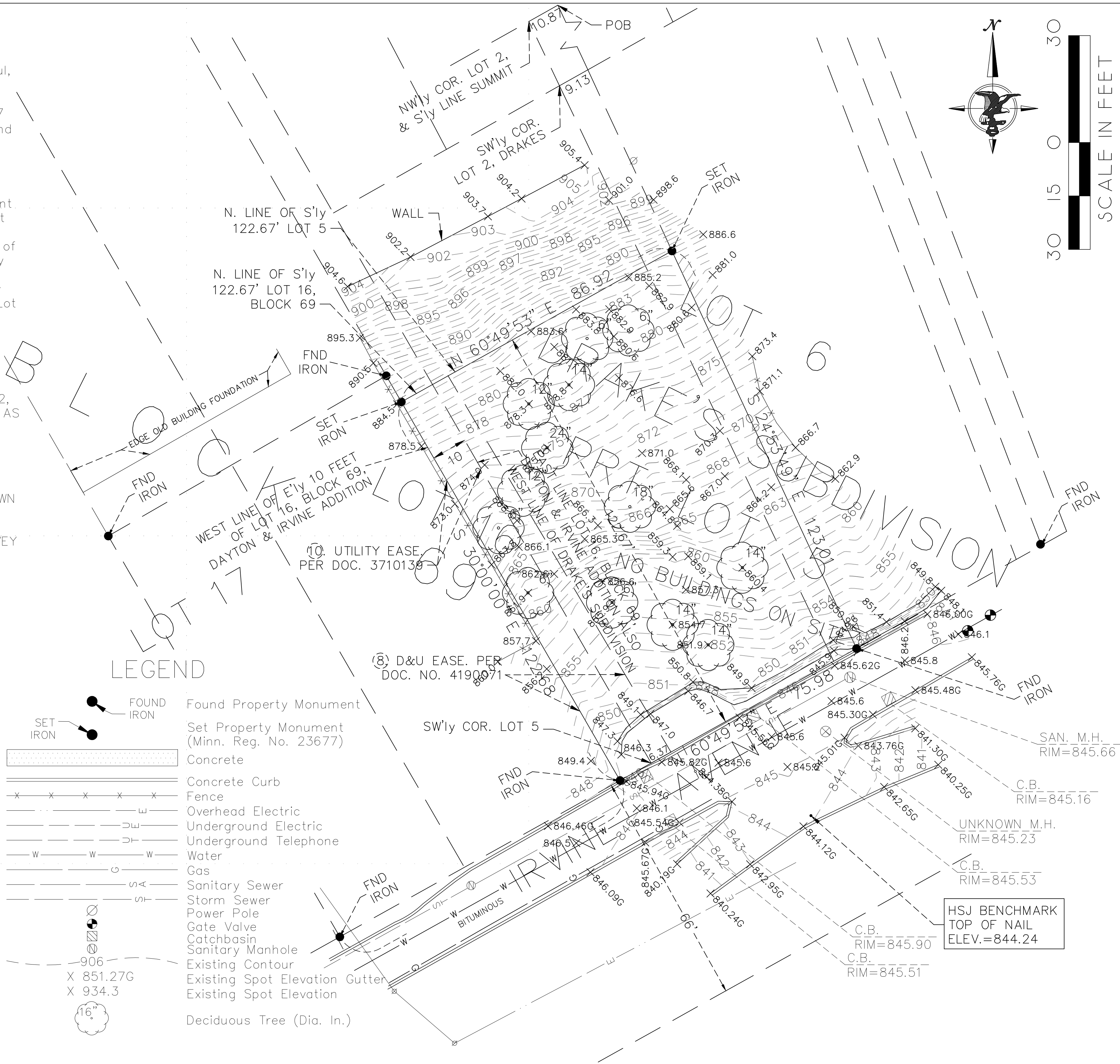
6. Elevation datum is based on NAVD 88 data. Bench mark is located Top of Nail (AS SHOWN ON SURVEY) Elevation = 844.24

CERTIFICATION:

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

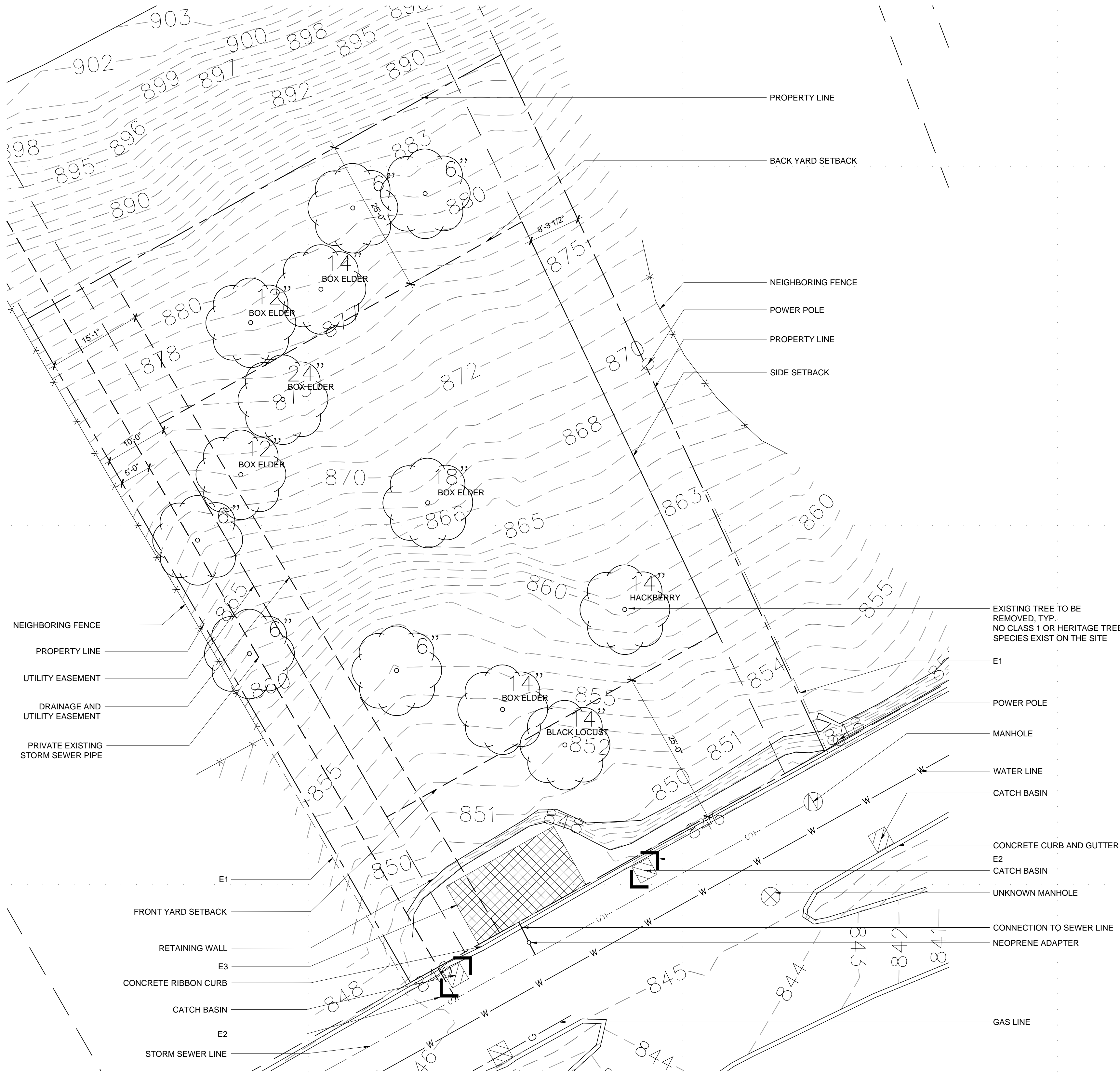
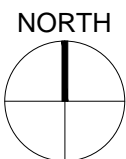
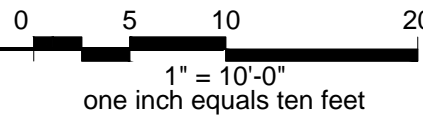
Date: November 13, 2013

Thomas E. Hodorff  
Minn. Reg. No. 23677



EXISTING CONDITIONS / REMOVALS

Scale: 1" = 10'-0"



E1 SILT FENCE  
E2 BIO ROLL INLET PROTECTION  
E3 CONSTRUCTION ENTRANCE

REMOVALS NOTES

1. ALL TEMPORARY EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY REMOVAL WORK AND MUST BE MAINTAINED UNTIL PERMANENT EROSION CONTROL MEASURES HAVE BEEN COMPLETELY IMPLEMENTED AND ESTABLISHED.
2. INSTALL SILT FENCING AROUND THE PERIMETER OF THE LIMITS OF WORK AND MAINTAIN UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED. ALL SILT FENCE MUST HAVE ORANGE GEOTEXTILE FABRIC WITH STEEL POSTS. MACHINE SLICING OF SILT FENCE AROUND OR UNDER TREES WILL NOT BE PERMITTED. SILT FENCE AROUND OR UNDER TREES MUST BE HAND PLACED AND FASTENED TO THE GROUND WITH STAPLES.
3. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE EROSION CONTROL REQUIREMENTS OF THE SITE AND FOR INSTALLING AND MAINTAINING EROSION CONTROL MEASURES WHERE NEEDED, EVEN IF THEY ARE NOT INDICATED ON THE DRAWINGS.
4. INLET PROTECTION (SILT FENCE BARRICADES, SILT SACKS, RISER PIPES, OR FILTER FABRIC AND GRAVEL) MUST BE INSTALLED IN ALL EXISTING AFFECTED CATCH BASINS PRIOR TO ANY REMOVAL WORK AND IN ALL NEW CATCH BASINS IMMEDIATELY AFTER CATCH BASIN INSTALLATION.
5. ADJACENT STREETS, ALLEYS, AND PROPERTIES MUST BE SWEEPED TO KEEP THEM FREE OF SEDIMENT AND MATERIALS TRACKED, BLOWN, OR WASHED FROM THE SITE. CONTRACTOR MUST MONITOR CONDITIONS AND SWEEP AS NEEDED OR WITHIN 24 HOURS NOTICE BY THE LANDSCAPE ARCHITECT. SWEEPING IS INCIDENTAL TO THE PROJECT.
6. CONTRACTOR MUST MAINTAIN DUST CONTROL FOR THE SITE AT ALL TIMES AND PROVIDE WATERING TRUCKS AS NEEDED OR WITHIN 24 HOURS NOTICE BY THE LANDSCAPE ARCHITECT. DUST CONTROL IS INCIDENTAL TO THE PROJECT.
7. WHERE DISTURBED SOILS WILL LAY EXPOSED FOR MORE THAN 21 DAYS, THE CONTRACTOR MUST SEED WITH A TEMPORARY COVER CROP TO PREVENT EROSION. TEMPORARY SEED MIX MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. TEMPORARY SEEDING IS INCIDENTAL TO THE PROJECT.
8. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SECURING THE SITE AND PROVIDING PROTECTION FROM THE WORK FOR THE PUBLIC. ALL OPEN EXCAVATIONS AND OTHER HAZARDS MUST BE FENCED.
9. THE RELOCATION AND/OR PROTECTION OF ALL EXISTING UTILITIES MUST BE COORDINATED BY THE CONTRACTOR AND ANY COSTS FOR SUCH WORK IS THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR EXTRA TIME AND EFFORT OR PROVISIONS NECESSARY TO WORK AROUND ANY UTILITIES.

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1 08 19 2014 SITE PLAN REVIEW

HPC FORMAL REVIEW

project: IRVINE RESIDENCE

date: 10 02 2014

scale: 1" = 10'-0"

drawn by: WJ

sheet title

EXISTING CONDITIONS

L000

sheet number

IRVINE RESIDENCE  
HPC FORMAL REVIEW  
321 IRVINE AVE, ST. PAUL, MN 55102

SITE LAYOUT PLAN

Scale: 1" = 10'-0"



- 1 PROPOSED PRIMARY STRUCTURE; WOOD FRAME
- 2 PROPOSED CARRIAGE HOUSE; WOOD FRAME
- 3 RETAINING WALL, TYP., MASONRY
- 4 ENTRY STAIRS AND GATE
- 5 DRIVEWAY
- 6 CONNECTION TO WATER LINE, 2" PVC
- 7 CONNECTION TO SEWER LINE, 6" PVC

SITE AREA: 9992 SQFT  
BUILDING COVERAGE: 18.4%  
IMPERVIOUS COVERAGE: 41.9%

UTILITY NOTES

INSPECTION CONTACT:

The developer shall contact the Right of Way inspector *Long Yang*, (651) 485-4398 (one week prior to beginning work) to discuss traffic control, pedestrian safety and coordination of all work in the public right of way. *Note: If a one week notice is not provided to the City, any resulting delays shall be the sole responsibility of the Contractor.*

SAFE WORK SITE REQUIREMENTS:

The Contractor shall provide a continuous, accessible and safe pedestrian walkway that meets ADA and MN MUTCD standards if working in a sidewalk area, and traffic control per MN MUTCD requirements for work in the public right of way.

NO PRIVATE FACILITIES IN THE RIGHT OF WAY:

The developer is strictly prohibited from installing private electrical wiring, conduit, receptacles and/or lighting in the City's Right of Way. This includes stubbing conduit or cable into the public right of way to accommodate utility feeds to the site. Coordinate with each utility prior to construction to determine feed points into the property. Utilities are responsible for securing excavation permits to run their service into a site, and (where required) submitting plans for review by the Public Works Utility Review Committee.

CITY OF ST. PAUL PERMIT REQUIREMENTS:

ORDERING OBSTRUCTION AND EXCAVATION PERMITS:

Contact Public Works Right of Way Service Desk at (651) 266-6151. It is strongly recommended that contractors call for cost estimates prior to bidding to obtain accurate cost estimates.

OBSTRUCTION PERMITS:

The contractor must obtain an Obstruction Permit if construction (including silt fences) will block City streets, sidewalks or alleys, or if driving over curbs.

EXCAVATION PERMITS:

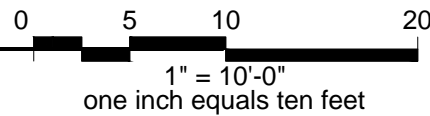
All digging in the public right of way requires an Excavation Permit. If the proposed building is close to the right of way, and excavating into the right of way is needed to facilitate construction, contact the utility inspector.

FAILURE TO SECURE PERMITS:

Failure to secure Obstruction Permits or Excavation Permits will result in a double-permit fee and other fees required under City of St. Paul Legislative Codes.

REQUIREMENTS TO WORK IN THE PUBLIC RIGHT OF WAY:

All utilities and contractors working in the public right of way must be registered.



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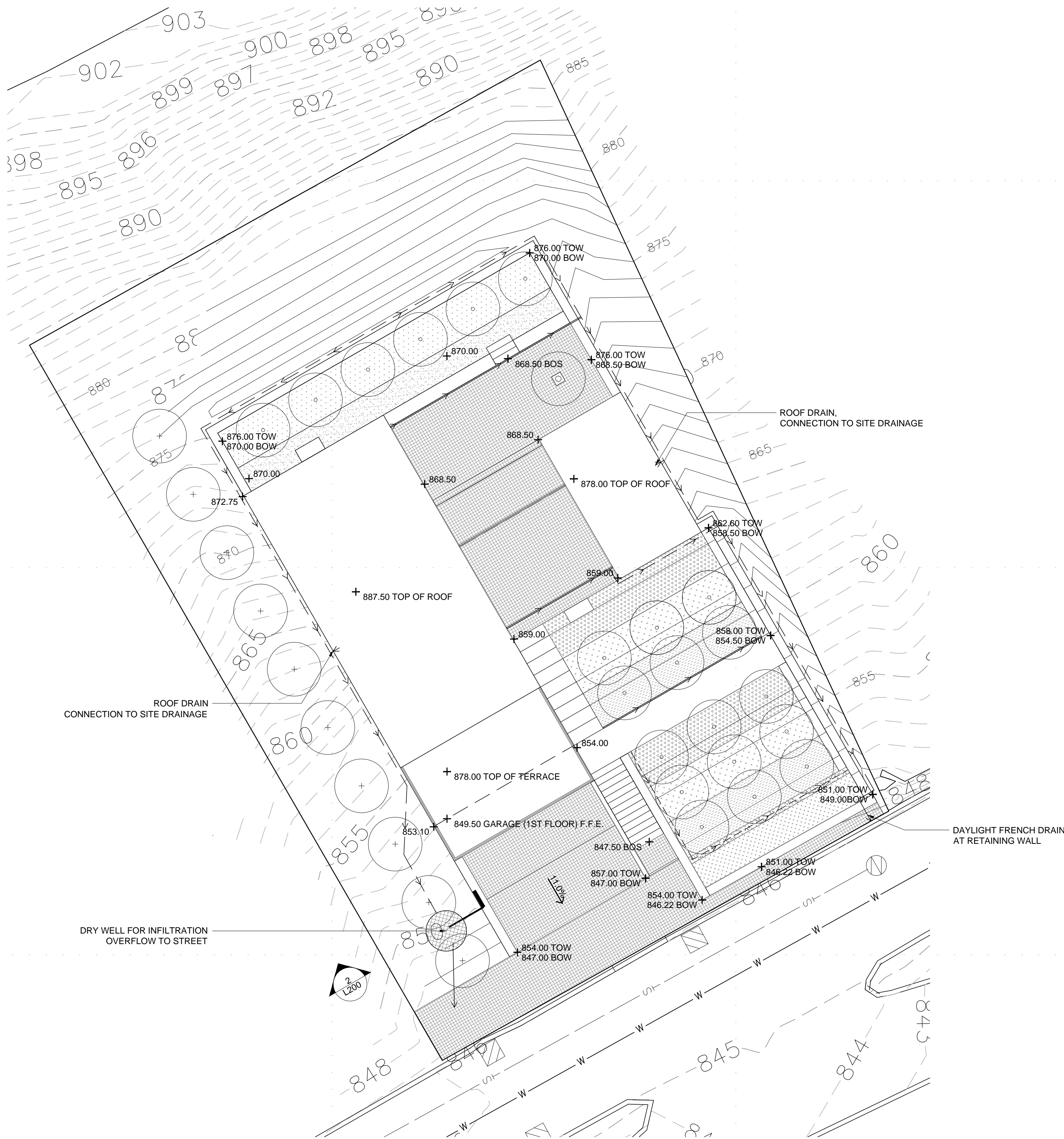
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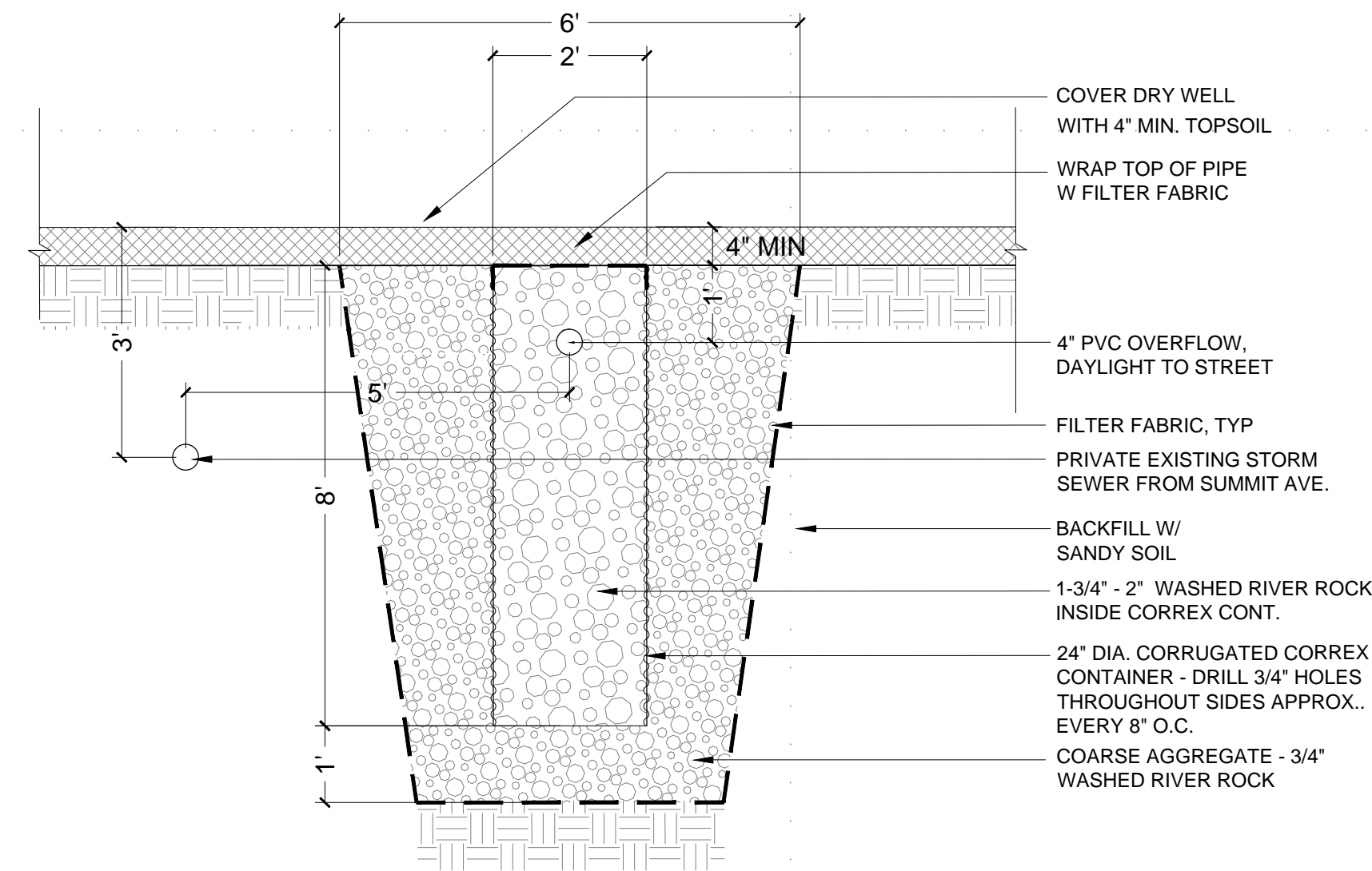
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SITE LAYOUT PLAN



GRADING NOTES

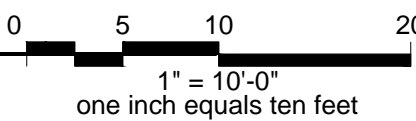
1. PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AT ALL TIMES.
2. ALL DESIGN CONTOURS AND PROPOSED ELEVATIONS INDICATED ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL ACCOUNT FOR ALL IMPORTED SURFACE AND PLANTING MATERIALS IN DETERMINING EARTHWORK REQUIREMENTS.
4. GRADING OPERATIONS MUST MINIMIZE THE POTENTIAL FOR EROSION.
5. NO GRADING, STOCKPILING OF MATERIALS, OR STAGING IS PERMITTED OUTSIDE THE LIMITS OF WORK.
6. PRIOR TO ROUGH GRADING THE SITE, THE CONTRACTOR MUST REMOVE ALL TOPSOIL IN AREAS TO BE DISTURBED AND STOCKPILE ON SITE FOR FUTURE USE. EXCESS TOPSOIL MUST BE REMOVED FROM THE SITE AFTER FINISH GRADING AT THE CONTRACTOR'S EXPENSE.
7. THE EARTHWORK FOR THE SITE IS ANTICIPATED TO PRODUCE AN EXCESS OF MATERIAL. THE CONTRACTOR MUST REMOVE ALL EXCESS MATERIAL FROM THE SITE AND DISPOSE OF IT AT THE CONTRACTOR'S EXPENSE.
8. NO TOPSOIL SHALL BE REMOVED FROM RESTORATION AREAS WITHOUT APPROVAL FROM THE LANDSCAPE ARCHITECT AND RESTORATION CONTRACTOR.
9. TOPSOIL COMPACTED BY CONSTRUCTION TRAFFIC IN RESTORATION AREAS SHALL BE LOOSENEED UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT AND RESTORATION CONTRACTOR.



2 DRY WELL SECTION

Scale: 1/2" = 1'-0"

- — — FRENCH DRAIN
- — — SLOT DRAIN
- — — PIPE
- DRY WELL



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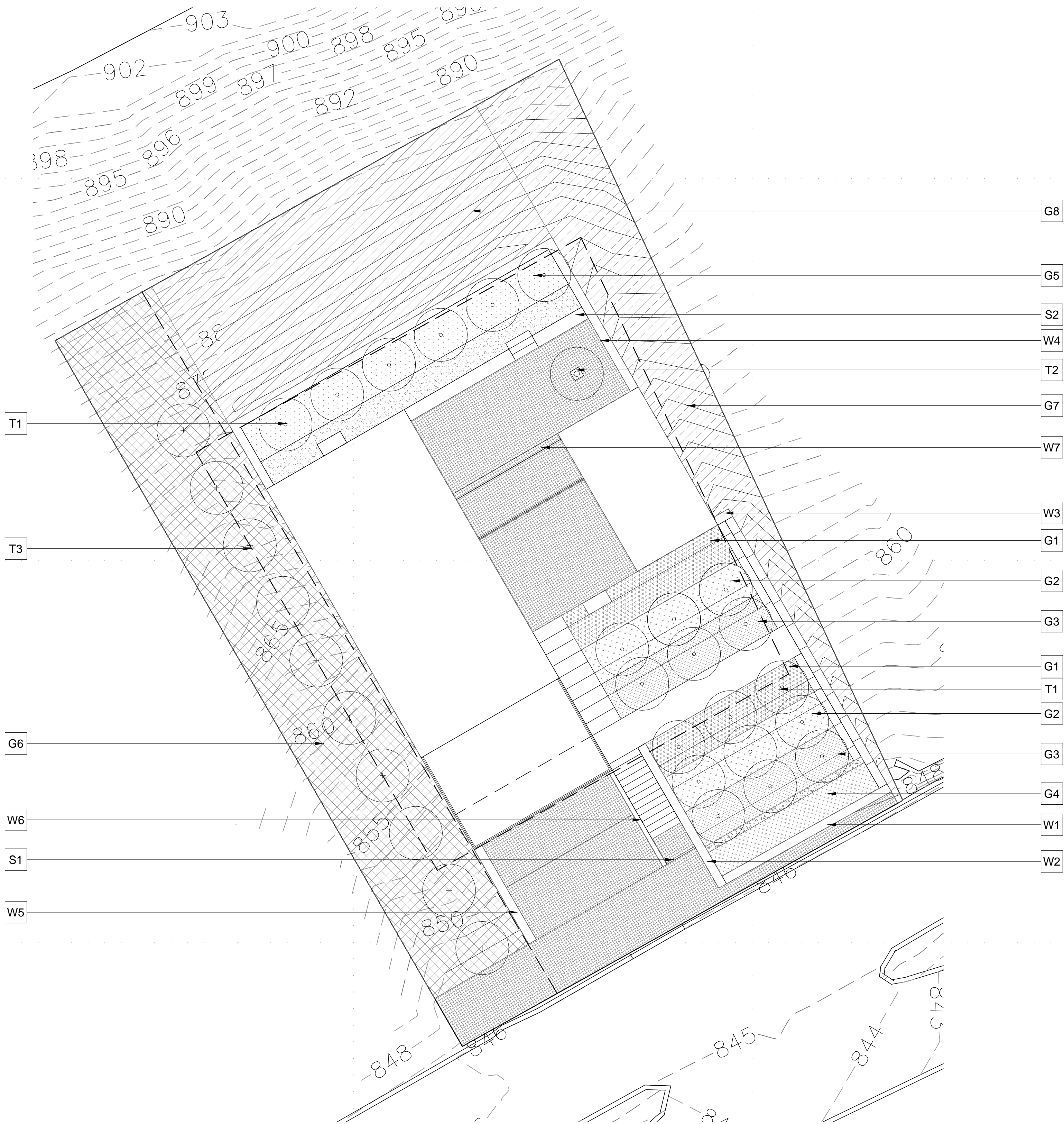
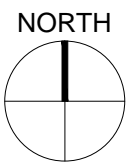
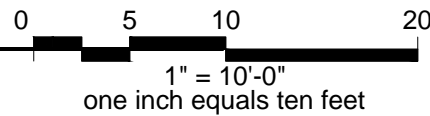
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GRADING AND DRAINAGE PLAN

LANDSCAPE PLAN

Scale: 1" = 10'-0"



PLANTINGS - TREES

KEY	SPECIES	SIZE	QTY	COMMENTS
T1	<i>Betula nigra</i> River Birch	2 1/2" BB	21	Single stem.
T2	Flowering Ornamental Tree	Specimen	1	Specimen tree to be selected by Landscape Architect. Trees must be full form and maturing
T3	<i>Pinus strobus</i> White Pine	10' BB	10	

PLANTINGS - SHRUBS AND PERENNIALS

KEY	SPECIES	SIZE	QTY	COMMENTS
G1	<i>Gallium odoratum</i> Sweet Woodruff	6 PK	310	Plant 12" O.C. in grid pattern.
G2	<i>Astilbe japonica</i> 'Deutschland' Deutschland Astilbe	#1 container	136	Plant 18" O.C. in grid pattern.
G3	<i>Fern adiantum pedatum</i> Northern Maidenhair Fern	#1 container	310	Plant 12" O.C. in grid pattern.
G4	<i>Liatris spicata</i> 'Floristan White' White Liatris Floristan White	#1 container	51	Plant 18" O.C. in grid pattern.
G5	<i>Hydrangea arborescens</i> 'Annabelle' Annabelle Hydrangea	#5 container	36	Plant 36" O.C. in grid pattern.
G6	Shady Woodland Seed Mix by Prairie Moon		1874 sqft	Seeded over erosion control blanket for slope stabilization
G7	Mixed Height Prairie Seed Mix by Prairie Moon		958 sqft	Seeded over erosion control blanket for slope stabilization
G8	<i>Vaccinium angustifolium</i> Lowbush Blueberry	#1 container	326	Plant 24" O.C. in grid pattern.

WALL

KEY	DESCRIPTION	COMMENTS
W1	Concrete Retaining Wall	Front yard, parallel to street. Refer to grading plan for height.
W2	Concrete Retaining Wall	Front yard, east of entry stairs. Refer to grading plan for height.
W3	Concrete Retaining Wall	Front yard, east of entry garden. Refer to grading plan for height.
W4	Concrete Retaining Wall	Back yard. Refer to grading plan for height.
W5	Concrete Retaining Wall	West of driveway. Refer to grading plan for height.
W6	Perforated Metal Wall	West of entry stairs. Refer to grading plan for height.
W7	Metal Wall	Main entry court. Refer to grading plan for height.

SITE ELEMENTS

KEY	DESCRIPTION	COMMENTS
S1	Perforated Metal Gate	Front entry.
S2	Concrete Bench	Back yard.

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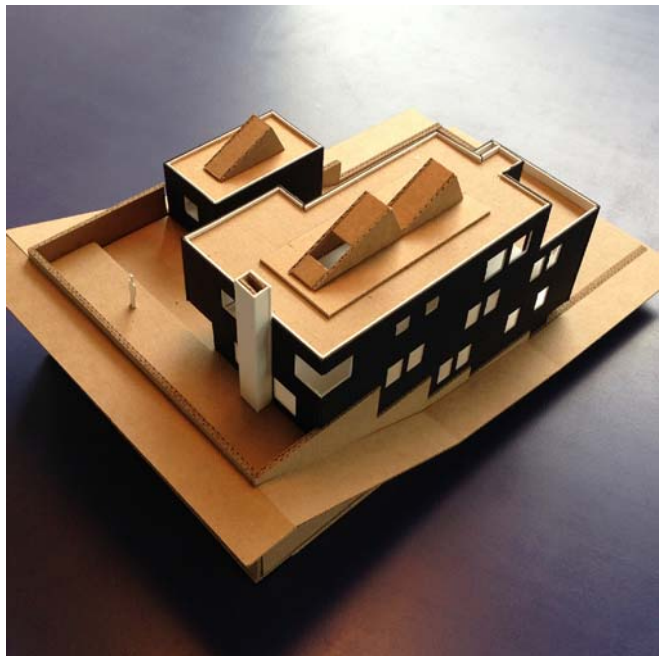
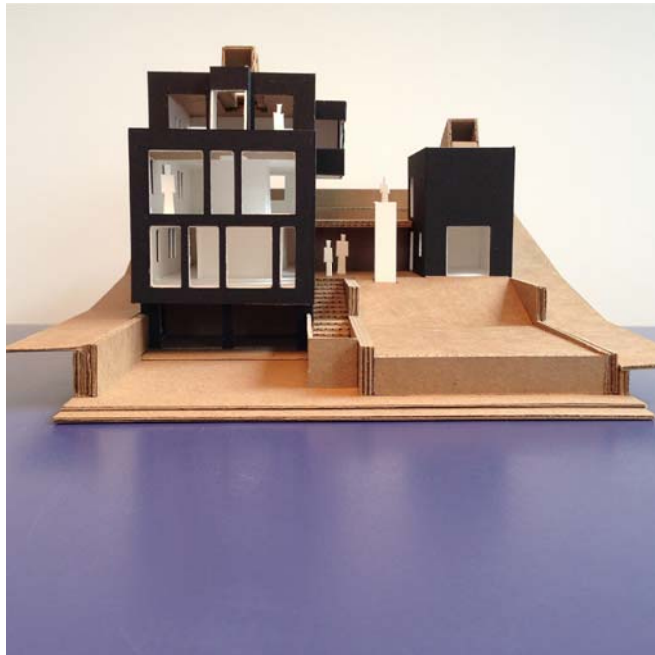
drawn by: WJ

sheet title

LANDSCAPE PLAN

L400

sheet number



**1. SHEET INDEX**  
T100 SERIES TITLE SHEET  
A200 SERIES PLANS  
A300 SERIES EXTERIOR ELEVATIONS

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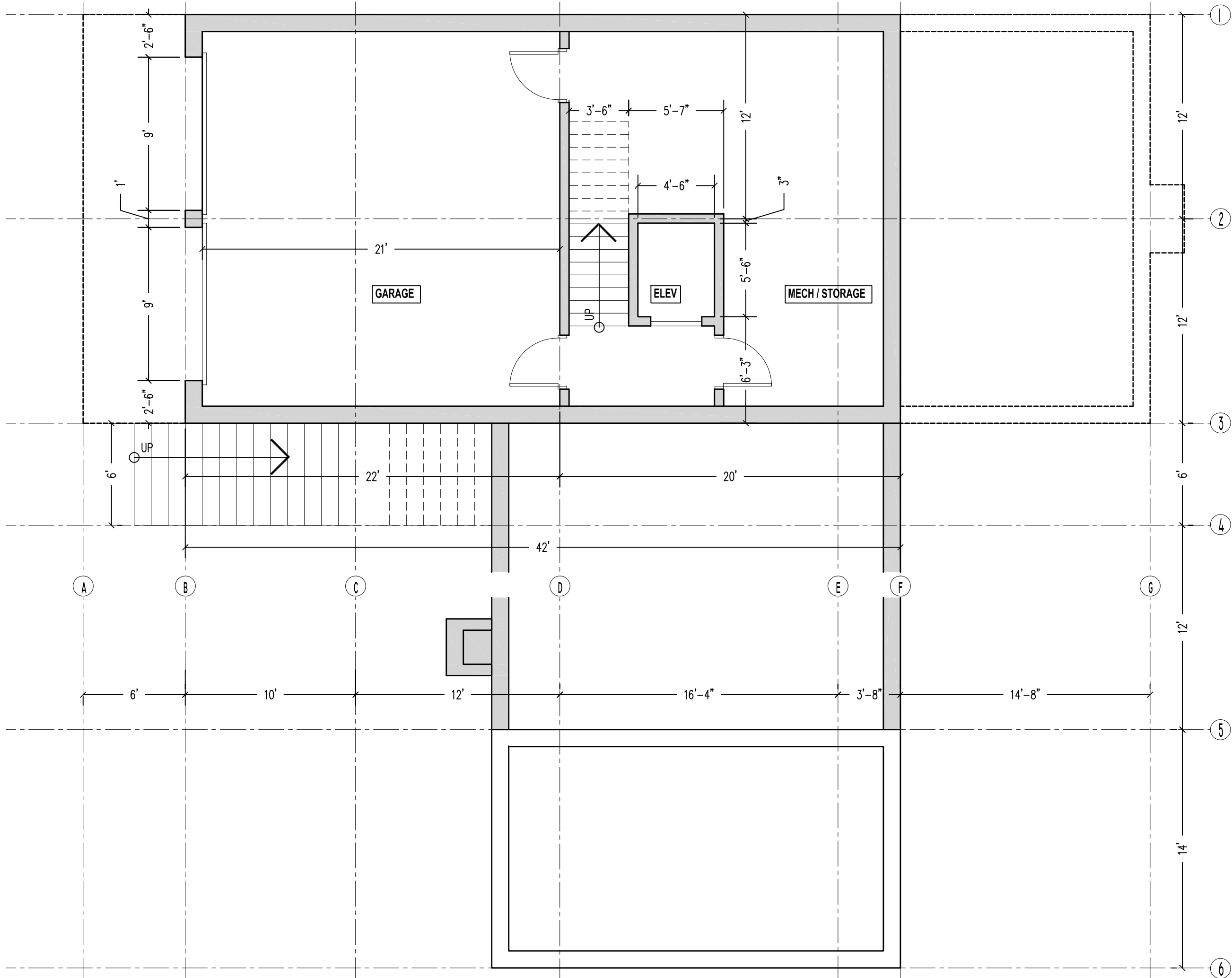
I hereby certify that this plan, specifications, report  
was prepared by me or under my direct supervision  
and that I am a duly registered Architect under the  
laws of the State of Minnesota.

Registration # 18009      OCT 2, 2014

LILY SCHAD  
GARAGE LEVEL

3/16"=1'-0"    OCT 2, 2014

T1



Salmela  
architect

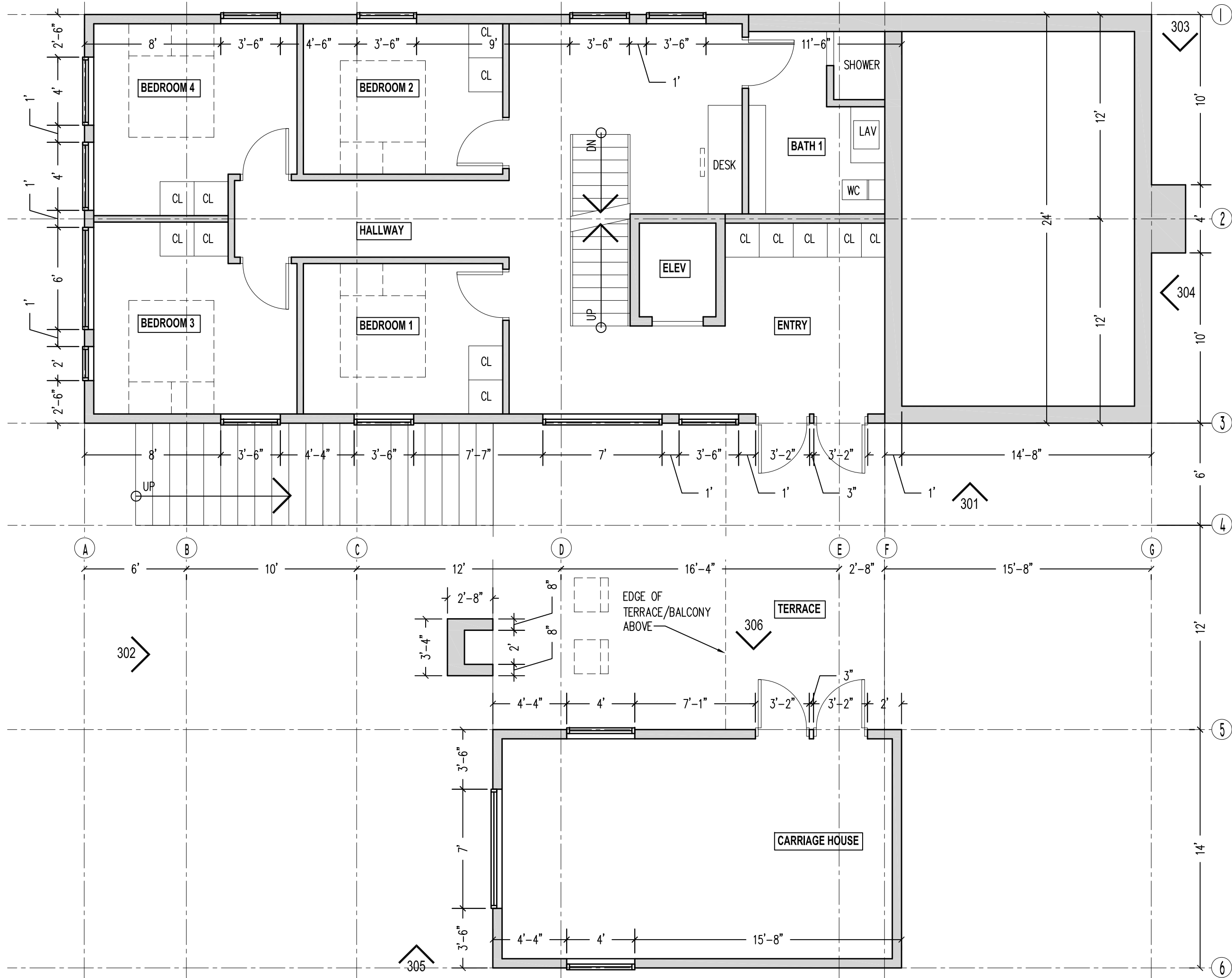
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LILY SCHAD  
GARAGE LEVEL

3/16"=1'-0" OCT 2, 2014

A201





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LILY SCHAD  
ENTRY LEVEL

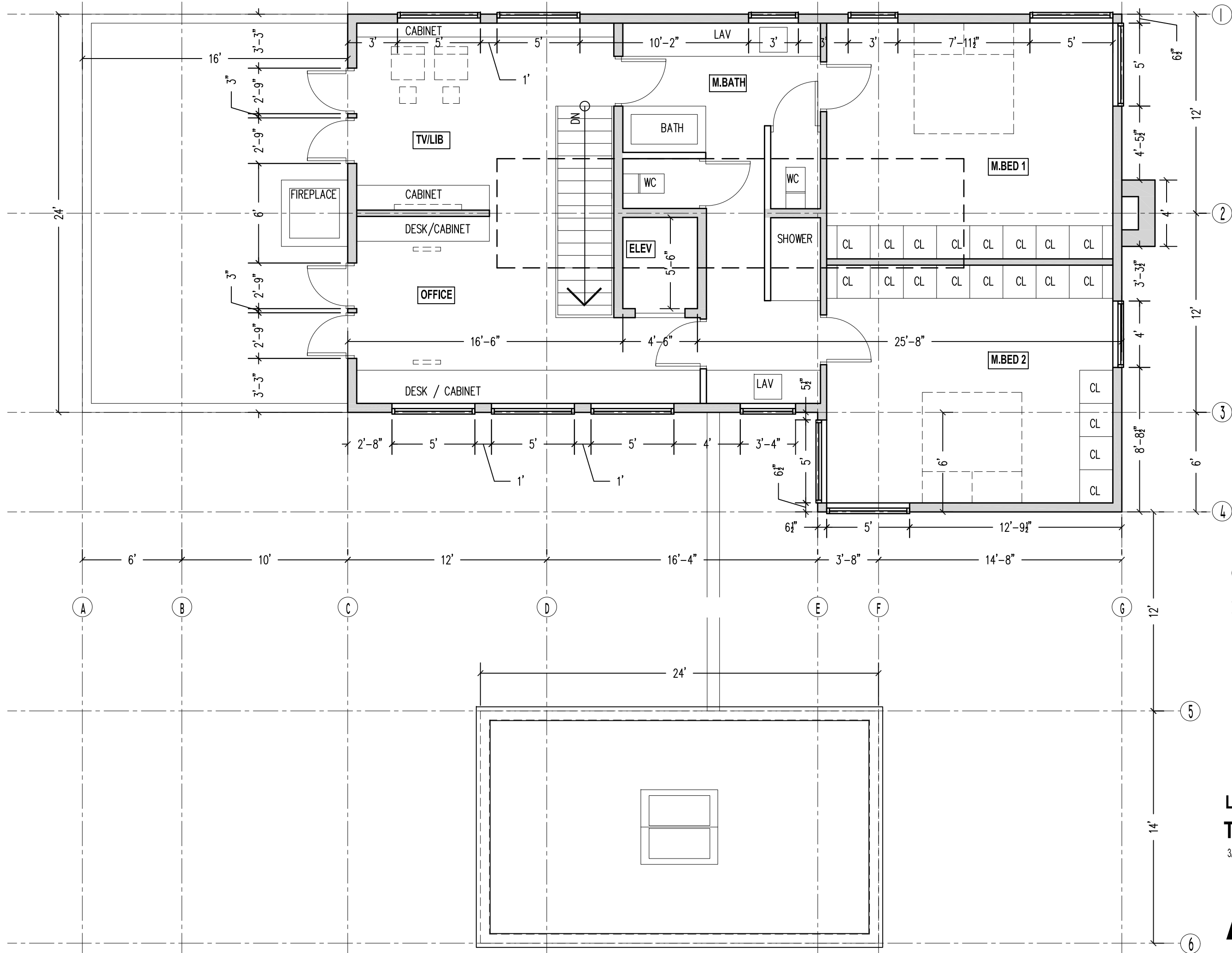
3/16"=1'-0" OCT 2, 2014

A202





# A203



Salmela  
architect

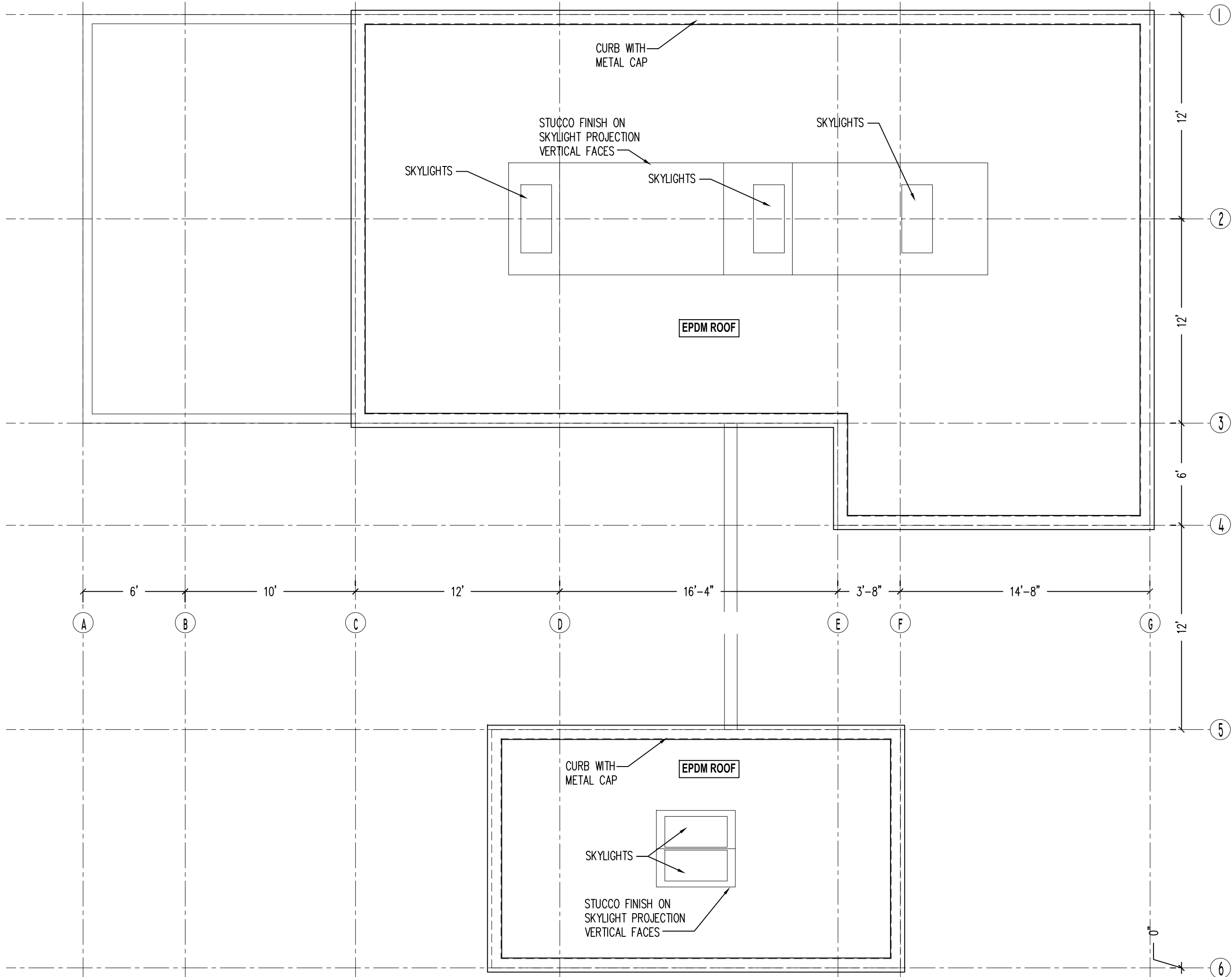
630 W. 4th Street Duluth MN 55806  
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LILY SCHAD  
TOP LEVEL

3/16"=1'-0" OCT 2, 2014

A204





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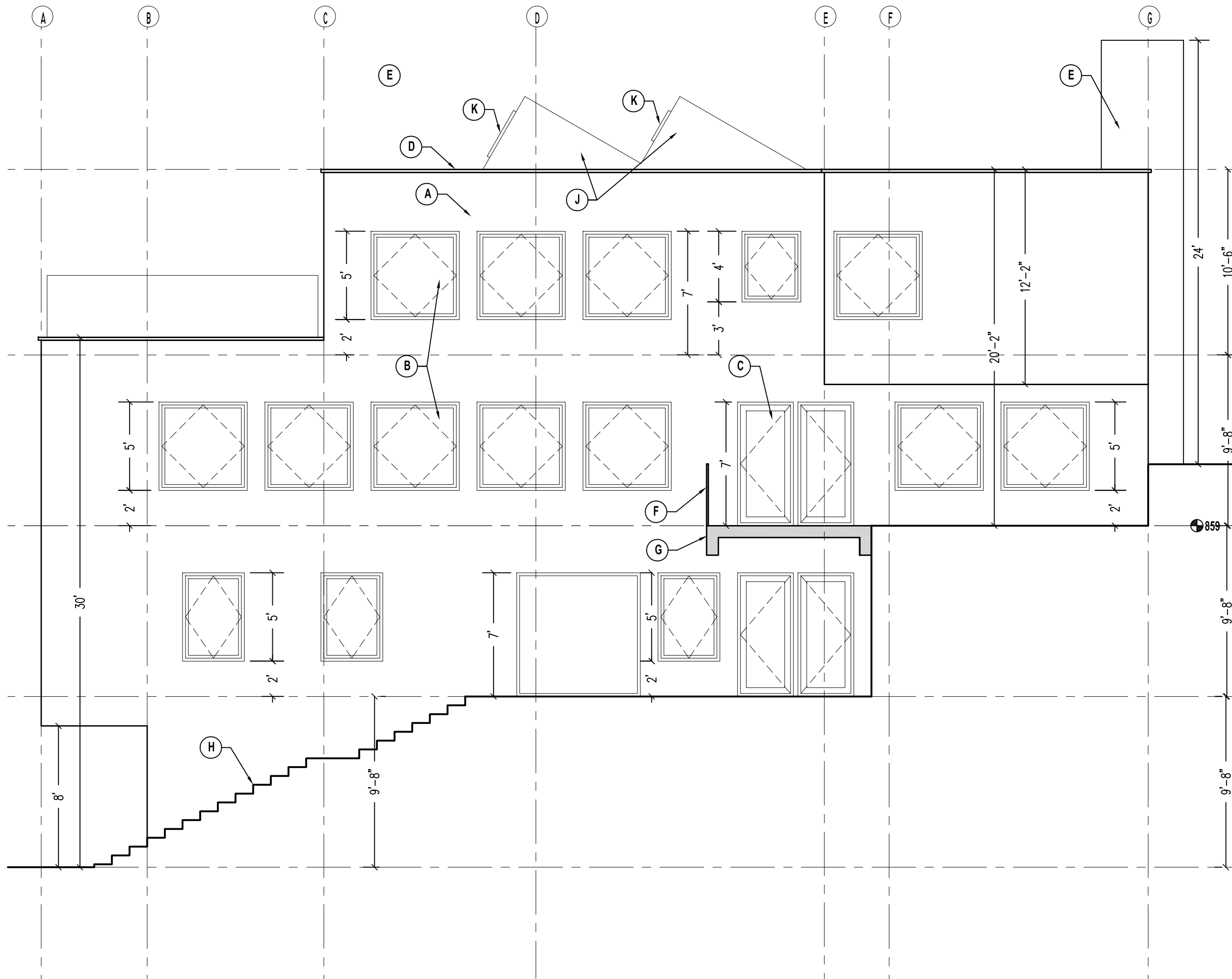
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LILY SCHAD  
ROOF

3/16"=1'-0" OCT 2, 2014

A205





- ELEVATION NOTES:
- A. INSULATED EXTERIOR WALL WITH BLACK CEMENTITIOUS STUCCO FINISH, SMOOTH
  - B. THERMALLY BROKEN, TRIPLE, PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD WINDOW (OPERABLE AND DIRECT SET)
  - C. THERMALLY BROKEN, DOUBLE PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD DOOR
  - D. METAL ROOF TRIM
  - E. MASONRY FIREPLACE CHIMNEY
  - F. TEMPERED & LAMINATED GLASS GUARDRAIL
  - G. REINFORCED CONCRETE BALCONY/TERRACE
  - H. EXTERIOR STAIRS
  - J. CEMENTITIOUS STUCCO FINISH (SMOOTH BLACK) ON VERTICAL SURFACES OF SKYLIGHT
  - K. THERMALLY BROKEN, SOLAR SKYLIGHT WITH REMOTE CONTROL, MOISTURE SENSOR AND SAFETY GLAZING

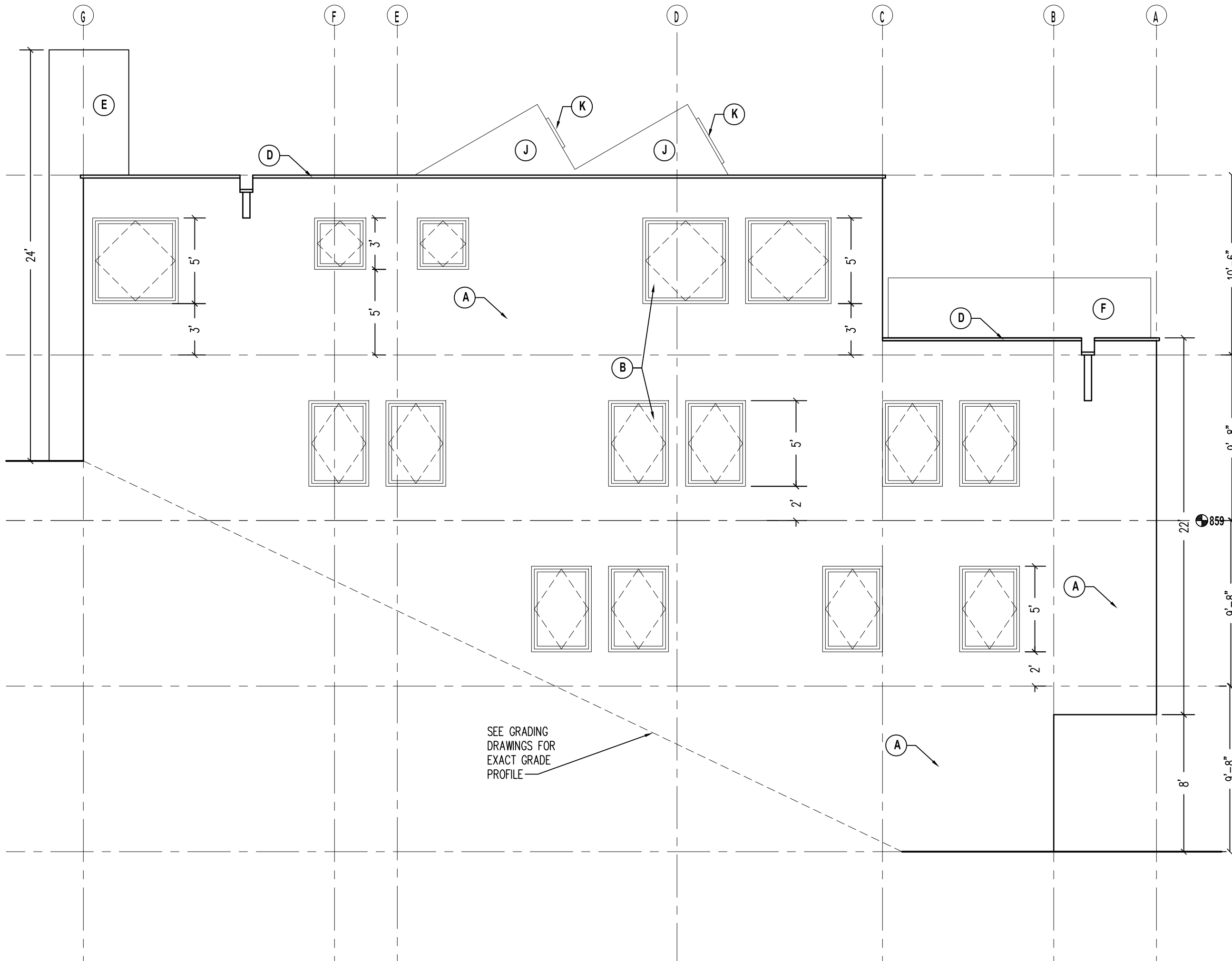
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LILY SCHAD  
EXTERIOR ELEVATION  
3/16"=1'-0" OCT 2, 2014

A301





- ELEVATION NOTES:
- A. INSULATED EXTERIOR WALL WITH BLACK CEMENTITIOUS STUCCO FINISH, SMOOTH
  - B. THERMALLY BROKEN, TRIPLE, PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD WINDOW (OPERABLE AND DIRECT SET)
  - C. THERMALLY BROKEN, DOUBLE PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD DOOR
  - D. METAL ROOF TRIM
  - E. MASONRY FIREPLACE CHIMNEY
  - F. TEMPERED & LAMINATED GLASS GUARDRAIL
  - G. REINFORCED CONCRETE BALCONY/TERRACE
  - H. EXTERIOR STAIRS
  - J. CEMENTITIOUS STUCCO FINISH (SMOOTH BLACK) ON VERTICAL SURFACES OF SKYLIGHT
  - K. THERMALLY BROKEN, SOLAR SKYLIGHT WITH REMOTE CONTROL, MOISTURE SENSOR AND SAFETY GLAZING

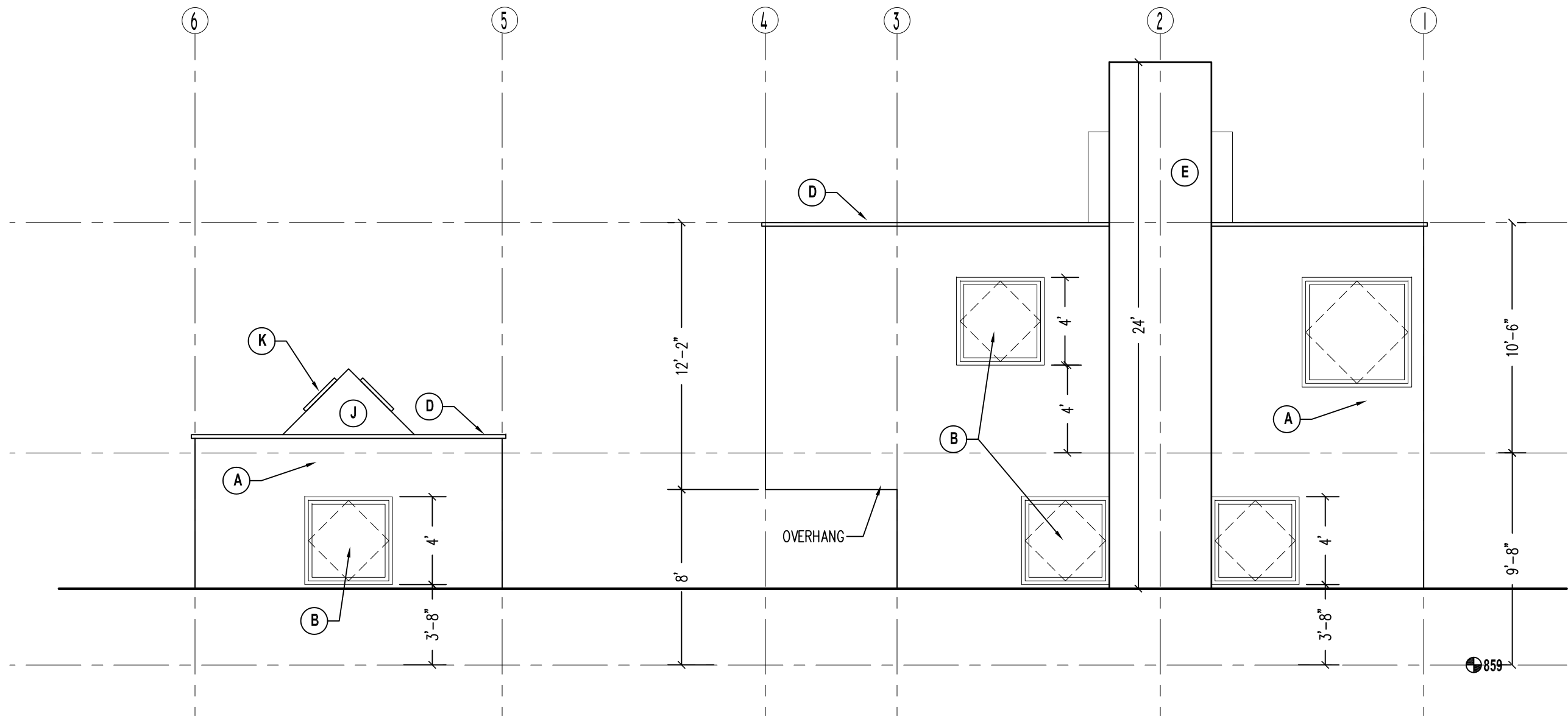
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LILY SCHAD  
EXTERIOR ELEVATION

3/16"=1'-0" OCT 2, 2014

A303



ELEVATION NOTES:

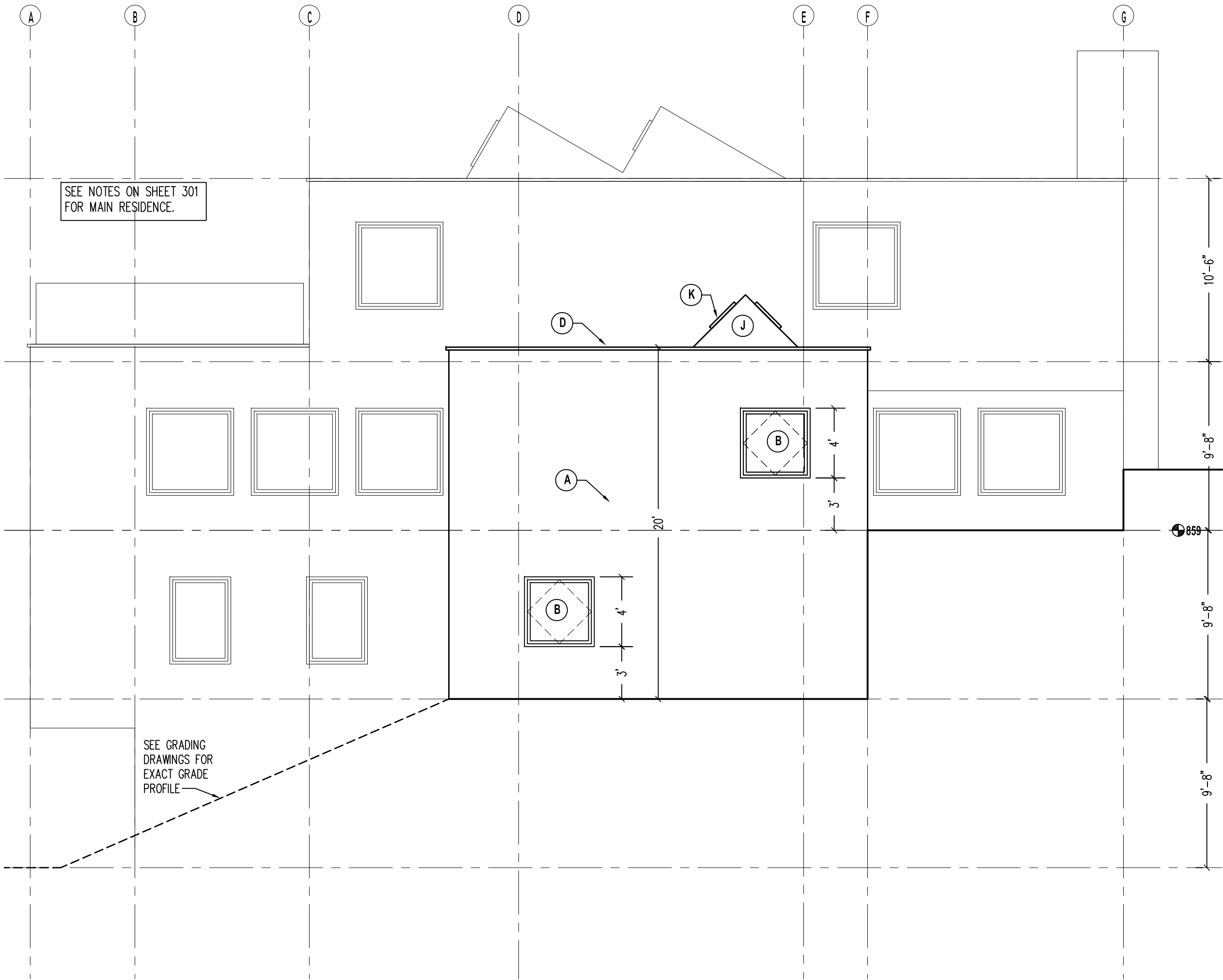
- A. INSULATED EXTERIOR WALL WITH BLACK CEMENTITIOUS STUCCO FINISH, SMOOTH
- B. THERMALLY BROKEN, TRIPLE, PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD WINDOW (OPERABLE AND DIRECT SET)
- C. THERMALLY BROKEN, DOUBLE PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD DOOR
- D. METAL ROOF TRIM
- E. MASONRY FIREPLACE CHIMNEY
- F. TEMPERED & LAMINATED GLASS GUARDRAIL
- G. REINFORCED CONCRETE BALCONY/TERRACE
- H. EXTERIOR STAIRS
- J. CEMENTITIOUS STUCCO FINISH (SMOOTH BLACK) ON VERTICAL SURFACES OF SKYLIGHT
- K. THERMALLY BROKEN, SOLAR SKYLIGHT WITH REMOTE CONTROL, MOISTURE SENSOR AND SAFETY GLAZING

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LILY SCHAD  
EXTERIOR ELEVATION  
3/16"=1'-0" OCT 2, 2014

A304



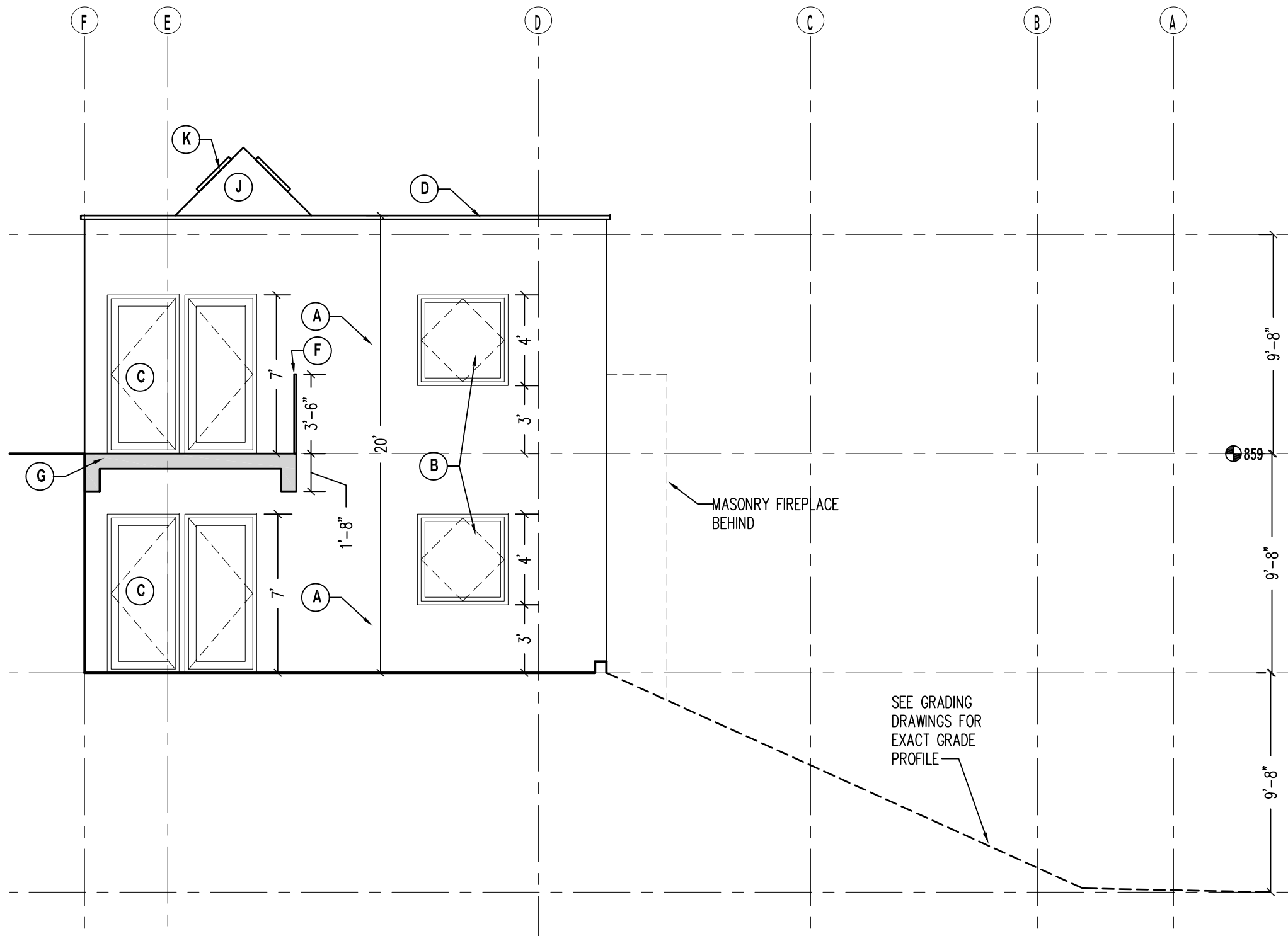
- ELEVATION NOTES:
- A. INSULATED EXTERIOR WALL WITH BLACK CEMENTITIOUS STUCCO FINISH, SMOOTH
  - B. THERMALLY BROKEN, TRIPLE, PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD WINDOW (OPERABLE AND DIRECT SET)
  - C. THERMALLY BROKEN, DOUBLE PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD DOOR
  - D. METAL ROOF TRIM
  - E. MASONRY FIREPLACE CHIMNEY
  - F. TEMPERED & LAMINATED GLASS GUARDRAIL
  - G. REINFORCED CONCRETE BALCONY/TERRACE
  - H. EXTERIOR STAIRS
  - J. CEMENTITIOUS STUCCO FINISH (SMOOTH BLACK) ON VERTICAL SURFACES OF SKYLIGHT
  - K. THERMALLY BROKEN, SOLAR SKYLIGHT WITH REMOTE CONTROL, MOISTURE SENSOR AND SAFETY GLAZING

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LILY SCHAD  
EXTERIOR ELEVATION  
3/16"=1'-0" OCT 2, 2014

A305



#### ELEVATION NOTES:

- A. INSULATED EXTERIOR WALL WITH BLACK CEMENTITIOUS STUCCO FINISH, SMOOTH
- B. THERMALLY BROKEN, TRIPLE, PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD WINDOW (OPERABLE AND DIRECT SET)
- C. THERMALLY BROKEN, DOUBLE PANE, HIGH VISUAL TRANSMITTANCE, METAL CLAD WOOD DOOR
- D. METAL ROOF TRIM
- E. MASONRY FIREPLACE CHIMNEY
- F. TEMPERED & LAMINATED GLASS GUARDRAIL
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- K. THERMALLY BROKEN, SOLAR SKYLIGHT WITH REMOTE CONTROL, MOISTURE SENSOR AND SAFETY GLAZING

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**LILY SCHAD**  
**EXTERIOR ELEVATION**

3/16"=1'-0" OCT 2, 2014

# A306