



Saint Paul Heritage Preservation Commission  
Department of Planning and Economic Development  
25 Fourth Street West, Suite 1400  
Saint Paul, MN 55102  
Phone: (651) 266-9078

## HERITAGE PRESERVATION COMMISSION DESIGN REVIEW APPLICATION

This application must be completed in addition to the appropriate city permit application if the affected property is an individually designated landmark or located within an historic district. For applications that must be reviewed by the Heritage Preservation Commission refer to the HPC Meeting schedule for meeting dates and deadlines.

### 1. CATEGORY

Please check the category that best describes the proposed work

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Repair/Rehabilitation | <input type="checkbox"/> Sign/Awning          | <input type="checkbox"/> New Construction/Addition/  |
| <input type="checkbox"/> Moving                | <input type="checkbox"/> Fence/Retaining Wall | Alteration   |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Other _____          | <input type="checkbox"/> Pre-Application Review Only |

### 2. PROJECT ADDRESS

Street and number: 216 Bates Zip Code: 55106

### 3. APPLICANT INFORMATION

Name of contact person: Roxanne Young  
Company: Saint Paul Housing and Redevelopment Authority  
Street and number: 25 W. 4th St, Suite 1100  
City: Saint Paul State: MN Zip Code: 55102  
Phone number: (651) 266-6581 e-mail: roxanne.young@ci.stpaul.mn.us

### 4. PROPERTY OWNER(S) INFORMATION (If different from applicant)

Name: same  
Street and number: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone number: (\_\_\_\_) \_\_\_\_\_ e-mail: \_\_\_\_\_

**5. PROJECT ARCHITECT (If applicable)**

Contact person: N/A

Company: \_\_\_\_\_

Street and number: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone number: (\_\_\_\_) \_\_\_\_\_ e-mail: \_\_\_\_\_

**6. PROJECT DESCRIPTION**

Completely describe ALL exterior changes being proposed for the property. Include changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.

Proposed to demolish 216 Bates, 716 Wilson, &  
208 Bates. See attached narrative.

*Attach additional sheets if necessary*

**7. ATTACHMENTS**

Refer to the *Design Review Process sheet* for required information or attachments.

**\*\*INCOMPLETE APPLICATIONS WILL BE RETURNED\*\***

**ARE THE NECESSARY ATTACHMENTS AND INFORMATION INCLUDED?**

☒ YES

Will any federal money be used in this project?

YES

☒

NO

☒

Are you applying for the Investment Tax Credits?

YES

☐

NO

☒

I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant: \_\_\_\_\_

Date: 2/6/14

Signature of owner: \_\_\_\_\_

Date: \_\_\_\_\_

**FOR HPC OFFICE USE ONLY**

Date received: 2-6-14

FILE NO. 14-014

District: \_\_\_\_\_/Individual Site: \_\_\_\_\_

Contributing/Non-contributing/Pivotal/Supportive/:

Type of work: Minor/Moderate/Major

\_\_\_\_ Requires staff review

Supporting data: YES NO  
Complete application: YES NO

The following condition(s) must be met in order for application to conform to preservation program:

It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch.73.06).

HPC staff approval \_\_\_\_\_

Date: \_\_\_\_\_

\_\_\_\_ Requires Commission review

Submitted:

- ☐ 3 Sets of Plans
- ☐ 15 Sets of Plans reduced to 8 1/2" by 11" or 11" by 17"
- ☐ Photographs
- ☐ City Permit Application
- ☐ Complete HPC Design Review application

Hearing Date set for: \_\_\_\_\_

City Permit # \_\_\_\_\_ - \_\_\_\_\_





**CITY OF SAINT PAUL**

*Christopher B. Coleman, Mayor*

25 West Fourth Street Telephone: 651-266-6655  
Saint Paul, MN 55102 Facsimile: 651-266-6559

Saint Paul Heritage Preservation Commission  
Department of Planning and Economic Development  
25 Fourth Street West, Suite 1400  
Saint Paul, MN 55102

RE: 716 Wilson, 216 Bates, and 208 Bates Request for Demolition

January 31, 2014

To the Saint Paul Heritage Preservation Commission,

The Housing Division of the Planning and Economic Development Department (PED) requests review of a demolition permit for 216 Bates, 208 Bates, and 716 Wilson. After careful consideration and review of a rehabilitation concept for the properties by Dayton's Bluff Neighborhood Housing Services (DBNHS), the Housing Division has concluded that the proposed redevelopment plan to rehabilitate the projects is not fiscally responsible. As a result, our recommendation is demolition of all three structures.

*Property history*

All three properties were acquired from private owners that neglected the buildings, leading to their condemnation and registration as vacant buildings. At the time of HRA purchase of the addresses, all three had been registered vacant buildings for over 2 years. The HRA acquired 208 Bates in 2005 and 216 Bates and 716 Wilson in 2007 to ensure public control of the redevelopment and with the intent to rehab all three structures. The timing of acquisition was just prior to the housing market crash. As a result the public cost to ensure control of the properties redevelopment was high: \$585,000 for all three addresses, which the HRA paid for with federal Community Development Block Grant (CDBG) and Neighborhood Stabilization Program (NSP) funds. In 2010, Dayton's Bluff Neighborhood Housing Services (DBNHS), a Saint Paul based community development corporation with 30 years of experience, was approached by the HRA to develop a proposal for the projects.

**Economic Considerations**

*Original proposal: rehabilitate 5 units of housing*

Originally, DBNHS proposed to rehabilitate all three structures as 5 units of rental housing. The scope of work for rehabilitation was brought to the HPC for approval in August 2012 and bid in December of 2012. Four contractors responded to the bid request; the lowest bid



was for \$1.6 million. When additional costs for acquisition, professional fees, holding costs, and developer fee were added to the cost of construction, the estimated expense for the five units of housing was \$2.7 million, or \$557,000 per unit. Through the Inspiring Communities program approved by the HRA Board of Commissioners, there is a cap of \$150,000 value gap per unit of housing created for HRA subsidy. In the case of ownership housing, "value gap" means the difference between the cost to do a project and its appraised value. In the case of rental housing, "value gap" means the difference between the cost to do a project and the amount of debt service that can be supported by a rental projects cash flow. Throughout the analysis below, per unit subsidy requested by the HRA will be used as a measurement of economic viability.

Because of the federal dollars used to acquire the properties, DBNHS is required to ensure that the units are affordably priced. As a result of this requirement, the rents charged for each unit are sufficient to cover operating costs (like maintenance, leasing fees, utilities, and taxes) only. There is not sufficient cash flow to pay for debt service on the projects, which means that the HRA or other public sources of funding will need to provide the entire \$2.7 million of development cost.

When staff analyzed the cost per square foot for the three buildings, it became clear that the cost per square foot for 208 Bates was significantly higher (\$170/sq ft) than what is typical for a new construction home (\$125/sq ft). Reasons for the remarkably high cost of redevelopment for this address include:

- **Structural damage:** there is substantial rot throughout the building and deterioration of the brick façade due to water damage that was first documented in 1999 by Saint Paul code compliance officials.
- **Mold abatement:** there is extensive mold throughout this property that requires removal and replacement of all surfaces on the interior by a licensed abatement professional.

Despite the high cost of 208 Bates, HRA staff and DBNHS continued to pursue rehabilitation of all three buildings, in the hope that federal or state historic tax credits could generate sufficient private equity to assist with project costs. HRA staff contacted both the State Historic Preservation Office and Historical Consultants Hess Roise to evaluate this possibility (see Attachment A). Upon analysis it became clear that tax credits would not be a reasonable option to pursue, for the following reasons:

- **To be successful, all three properties would need to qualify for the historic register.** The smallest tax credit projects are typically around \$3 million, which is the total projected development cost of renovating 208 Bates, 216 Bates, and 716 Wilson.
- **There is a low likelihood that all three properties would qualify for the historic register.** None of the three addresses (208 Bates, 216 Bates, or 716 Wilson) were identified in the 1982 historic survey that is typically a starting place for SHPO part 1 evaluations as being architecturally or historically significant; as a result qualification is not likely. Although 216 Bates and 716 Wilson were owned by the Schorenstein family, who own another property on the national register, eliminating 208 Bates from the project results in a total cost of \$1.8 million, which is significantly below the size of other successful tax credit projects.
- **The economic impact of securing tax credits is minimal.** At most, \$600,000 out of a \$2.7 million budget would be generated; meaning that the HRA would still need to provide \$2.1 million (\$431,000 per unit).
- **Pursuing historic tax credits will significantly add to the project's timeline and**

**cost.** The timeline for historic tax credits is typically 1-2 years and requires a significant application fee of \$15,000.

Given the low likelihood of successfully securing tax credits and the limited impact that tax credits would have on per unit subsidy, staff do not recommend pursuing this option further.

*Revised proposal: Demolish 208 Bates and rehabilitate 216 Bates as rental and 716 Wilson as ownership*

The HRA consulted with DBNHS to explore options to reduce the scope of the project or generate private investment to reduce public costs. By demolishing 208 Bates, rehabbing 716 Wilson as a 2 bedroom home for homeownership, and rehabbing 216 Bates as two 4 bedroom rental units, the HRA was able to reduce project costs by \$1 million. Construction costs are more reasonable for 216 Bates and 716 Wilson (\$132/sq ft and \$145/sq ft, respectively). Nevertheless, the per unit subsidy needed to achieve the project is still high: cost would be \$1.8 million and the HRA's per unit cost is \$572,000. Some of the reasons for these higher than typical per unit costs include:

- **Acquisition cost:** The HRA has already paid \$585,000 for acquiring the three addresses. Because this expense has already been paid it cannot be changed.
- **Foundation problems and stormwater management:** Both 216 Bates and 716 Wilson are suffering from water seepage into the basements (see Attachment B) that must be addressed. Addressing these concerns requires replacing portions of the foundation at both addresses and implementing site improvements that direct stormwater directly into the storm sewer system.

### **Adaptive Reuses Explored**

*Reuse as commercial buildings*

208 Bates, 216 Bates, and 716 Wilson are currently zoned as residential buildings. Both 208 Bates and 716 Wilson were originally constructed as residential buildings and therefore a different use is not recommended.

216 Bates was originally constructed as an automotive garage and operated as a transmission repair business through 1997, and then as an appliance repair company from 1997 through 2005, when the Certificate of Occupancy for the property was revoked. Staff conducted an analysis of the subsidy needed for 216 Bates based on current market trends for commercial projects, and found that the subsidy needed for the project is similarly incrementally affected by the change in concept; it is projected that \$700,000 of subsidy would be needed for a commercial project to move forward. Based on configuration of the building, it is assumed that one business would occupy the entire building, which was the history of the site from 1997 – 2005. Therefore the per unit subsidy for a commercial concept is higher. Moving forward with a commercial concept at the site is also inherently high risk, due to the low-traffic counts and residential character of the surrounding neighborhood. Since the HRA bought the property in 2007, there have not been any inquiries from commercial tenants that have interest in this location. Based on this analysis staff do not recommend pursuing reuse as a commercial building.

*Demolition of all three buildings and new construction of 8 units of housing*

Acquisition and stormwater management costs can be absorbed more easily by development of a denser project at the three sites. It is projected that a denser development could be constructed for \$3 million. A denser development has a significant economic impact of increasing the number of units, and thus the amount of income, that a project at the



Bates/Wilson site can generate. By demolishing the three buildings the immediate blight of three vacant buildings is removed from the neighborhood, providing an opportunity to seek a leverage of funding from other public sources for creation of affordable rental housing. Based on staff experience, it is believed that \$1 million could be leveraged through a combination of a commercial loan that can be supported with the increase in cash flow for the project and public sources from the state of Minnesota. As a result, HRA subsidy for a new construction project is anticipated at \$1.7 million, or \$214,000/unit subsidy. Although the subsidy level is still higher than what is typically allowed by the program, it is substantially lower than any other redevelopment strategy analyzed.

### **Structural Report**

A complete structural report was provided for the 208 Bates property (Attachment C). For 216 Bates and 716 Wilson, structural engineers were part of the project team along with the architect and construction manager selected for the property (Attachment B). The attached letter from Load Bearing, Inc, regarding the structural condition of 216 Bates and 716 Wilson describes the structural considerations that were included in the scope of work for both properties.

### **Photographs of exterior sides and features/conditions**

Please see the enclosed Attachment D, which includes photographic evidence of the exterior and interior condition of all three buildings. The Attachment D also includes additional detail regarding the facts summarized in this cover letter.

### **Conclusion**

The HRA has made every attempt to cost effectively rehabilitate 216 Bates, 208 Bates, and 716 Wilson. However, the deteriorated condition of the three properties, combined with their high acquisition cost and hydrology challenges that have been present for decades have proved prohibitive. Based on staff analysis of several redevelopment scenarios it is recommended that demolition of all three buildings be pursued in order to facilitate construction of a denser new construction project.

Thank you for your time and consideration,

Roxanne Young  
Senior Project Manager

### **Attachments:**

- A) Charlene Roise letter RE: Historic Tax Credits
- B) Jeff Garetz letter RE: Structural Condition
- C) 208 Bates Structural Engineering Report and mold report
- D) PowerPoint demonstrating photographs of conditions, economic considerations, and options explored





**CITY OF SAINT PAUL**  
*Christopher B. Coleman, Mayor*

*25 West Fourth Street  
Saint Paul, MN 55102*

*Telephone: 651-266-6700  
Facsimile: 651-228-3220*

August 24, 2012

Karen Gjerstad  
4733 Isabel Avenue  
Minneapolis, MN 55406

Re: 216-218 Bates Avenue, Dayton's Bluff Historic District  
Public Hearing, August 23, 2012 - Agenda Item V.D. – HPC File #12-041

Dear Ms. Gjerstad:

As you know, the Heritage Preservation Commission (HPC) considered at its August 23, 2012 meeting your application for a building permit to rehabilitate the historic Schorenstein Garage into housing at the property listed above. The HPC voted **7 - 0 to conditionally approve** your application. This decision was based on the discussion at the public hearing, public testimony and findings by HPC staff.

The application will be approved provided the following condition(s) are met:

1. All details, sizes and final locations of windows and doors shall be determined by the physical evidence uncovered when the siding is removed. Staff will need to review the condition of the exterior walls and the location of historic openings when the non-original siding is removed. The contractor shall contact HPC staff to set up the site visit and staff will direct the contractor and applicant on how to proceed.
2. The applicant shall submit a new window choice that has a historic window profile and complies with the design review guidelines. HPC staff and/or the HPC shall review and approve the final window choice. Do not order the materials until final written approval has been received from HPC staff.
3. The casement window shall be removed from the garage door on the rear (east elevation) as it does not relate to the original opening; the three transom-style windows may remain.
4. All final materials, finishes, colors and details shall be submitted to HPC staff for final review and approval. This includes, but is not limited to the brick, doors and windows, light fixtures, window well material, deck railing (east elevation), clay tile coping and privacy screening on the deck.
5. Any revisions to the approved plans shall be reviewed and approved by the HPC and/or staff.
6. The HPC stamped approved plans shall remain on site for the duration of the project.

You or any aggrieved party has the right to appeal the Heritage Preservation Commission's decision to the Saint Paul City Council under Chapter 73 of the Saint Paul Legislative Code. Such an appeal must be filed within 14 days of the date of the HPC's order and decision. Chapter 73 states:

*(h) Appeal to city council. The permit applicant or any party aggrieved by the decision of the heritage preservation commission shall, within fourteen (14) days of the date of the heritage preservation commission's order and decision, have a right to appeal such order and decision to the city council. The appeal shall be deemed perfected upon receipt by the division of planning of two (2) copies of a notice of appeal and statement setting forth the grounds for the appeal. The division of planning shall transmit one copy of the notice of appeal and statement to the city council and one copy to the heritage preservation commission. The commission, in any written order denying a permit application, shall advise the applicant of the right to appeal to the city council and include this paragraph in all such orders.*

Please note, an HPC approval or conditional approval does not obviate the need for meeting applicable building and zoning code requirements, **nor is it a permit to allow for work to commence**. An HPC approval or conditional approval expires after one year if no permit has been issued. If revisions to the approved plans are made, be aware that additional HPC and/or staff review will be required.

Please feel free to call me at 651-266-6715 if you have any questions. Your application and plans will be on hold until the conditions are met and construction level plans are submitted for final review.

Sincerely,

*Christine Boulware*

Christine Boulware  
Historic Preservation Planner

cc: Jim Erchul, Dayton's Bluff Neighborhood Housing Services (via email)  
Jeff Garetz, Load-Bearing Construction (via email)  
Bob Roscoe, Design for Preservation (via email)  
Marty McCarthy, PED (via email)  
File



**ACTION MINUTES OF THE HERITAGE PRESERVATION COMMISSION**  
**CITY OF SAINT PAUL, MINNESOTA**  
Lower Level – Room 41, City Hall/Court House, 15 West Kellogg Boulevard  
**August 23, 2012**

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**Present:** Richard Dana, Robert Ferguson, Rich Laffin, John Manning, Matt Mazanec, David Riehle, Steve Trimble, Diane Trout-Oertel, David Wagner

**Absent:** Matt Hill (excused), Renee Hutter (excused), Michael Justin (excused)

**Staff Present:** Christine Boulware, Amy Spong, Hilary Holmes

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**PUBLIC HEARING**

**I. Call to Order:** 5:06 p.m.

**II. Approval of the Agenda** - Commissioner Dana moved to approve the agenda. Commissioner Riehle seconded the motion. The motion passed 8 - 0.

**III. Conflicts of Interest** - There were none stated.

**IV. Chair's Announcements** - There were no announcements.

**V. Staff Announcements** -

**VI. Permit Review/Public Hearings**

**A. 1824 Marshall Avenue, Hill Historic District**, by Charles Thompson Memorial Board of Trustees, for an after-the-fact review to infill the window openings at the front porch.

**File #12-039** (Spong, 266-6714)

Staff read the report recommending denial of the proposal and recommending the applicant restore the windows or install appropriately detailed panels with a 30 day deadline to submit a revised application of option 1 or option 2. Commissioners asked clarifying questions of staff.

Mr. Bahl from the Charles Thompson Memorial Board of Trustees, applicant, was present to discuss the proposal. Mr. Bahl informed the Commission that the windows were taken out in the 1950's. The bushes were taken out and it was discovered that plywood had been installed in the window openings, resulting in moisture problems. The intent was to replace the plywood and fix the moisture problems.

Staff reminded the HPC and applicant that the site was locally designated in 1995 and was listed on the National Register of Historic Places in 2011. The local designation requires design review by the HPC, therefore any work that was to be done to the exterior, as of 1995, requires HPC approval.

Commissioner Laffin inquired if there were other reasons besides cost that the openings could not be restored to windows. Mr. Bahl replied that the openings are closed on the interior and exterior, and informed the HPC that the Board runs the building and a separate group of volunteers are responsible for the interior of the building (while the group that Mr. Bahl is part of is in charge of the exterior). Mr. Bahl also stated that a vent existed in the same location as the newer vent and that it had been there since the plywood was installed in the 1950's.

The public hearing was closed.



Commissioner Dana moved to adopt the staff recommendation of denial.

Commissioner Manning seconded the motion.

Commissioner Ferguson offered a friendly amendment that the proposal be "developed with the involvement of a preservation professional." Commissioner Riehle seconded the amendment.

Commissioner Wagner offered a friendly amendment to staff recommendation #2.

Commissioner Trout-Oertel suggested amending staff recommendation #2 to read "removing the brick and submitting an infill solution that is in keeping with the classical detailing of the building."

**The motion passed 8 – 0.**

**B. 888 W. 7<sup>th</sup> Street, Jacob Schmidt Brewing Company Historic District**, by Bruce Knutson Architects, for a building permit to construct a new wall, entrances and parking lot after the demolition of a portion of the non-historic Warehouse Annex. **File #12-043** (Spong, 266-6714)

**Withdrawn by applicant (8-22-12)**

**C. 201 Fourth Street E., Lowertown Historic District**, by Signminds, Inc., for a sign permit to install a lit sign on the Fourth Street elevation to read "STATION 4." **File #12-040** (Boulware, 266-6715)

Staff read the report recommending approval of the application.

Commissioners asked clarifying questions.

Josh Lemke, representative of Signminds, Inc. was present to discuss the proposal.

The Commission had questions regarding the location of the sign, in respect to the cornice line, Mr. Lemke confirmed that the sign will be installed below the cornice line and only attached to the wood paneling. The Commission questioned the mural on the wood panel infill where the sign will be attached. Staff informed the Commission that the mural was not under review as part of this proposal. The applicant provided a sample of the .05 thickness, gun metal gray, spray finished aluminum to be used for the sign letters. A discussion of the Halo lighting with red LED lights for the sign followed – the applicant noted that the LED lights would be installed inside of the sign, semi-encased, and that as a result of this the lighting would bounce off of the paneling behind it and would be more subdued.

The public hearing was closed.

Commissioner Manning moved to adopt the staff recommendation of approval.

Commissioner Trout-Oertel seconded the motion.

**The motion passed 8 – 0.**

**D. 216-218 Bates Avenue, Dayton's Bluff Historic District**, by Karen Gjerstad, architect, for a building permit to rehabilitate the historic Schornstein Garage into housing. **File #12-041** (Boulware, 266-6715)

Staff read the report recommending approval of the application.

Commissioner Laffin asked if staff will report back to the HPC throughout the project. Staff explained the process of these types of projects, which will include site visits following exploratory demolition to inform final details and materials. On site visits and staff review is done to avoid change orders. As with previous projects, staff will give updates at HPC meetings on the progress of the project. Staff added that as revisions come up if they are

consistent with the conditions and approval of HPC staff reviews it, big revisions are taken back to the HPC for review.

Commissioner Laffin asked staff about the timeframe of the project. Staff replied that the Neighborhood Stabilization Program has benchmarks to be met and that the applicant may be better information regarding a project timeline. ...Commissioner Ferguson questioned part of finding #8 regarding "a more simple design" for the deck railing, as the railing design appeared simple on the plans, and questioned the recommendations for awning windows rather than casement on the west elevation. Staff replied that with no eave on the west elevation casement windows would allow for water to enter more easily and suggested fixed and awning windows to keep with the design of the building.

Written public testimony from Peggy Jo Dunnette of 223 Bates Avenue in support of the rehabilitation of 208-210 Bates Avenue and 216-218 Bates Avenue was read into the record.

The applicants, architects Karen Gjerstad and Bob Roscoe and contractor Jeff Garetz, were present to discuss the proposal.

Mr. Garetz responded to the question regarding the timeline, stating that the likely start will be early next spring, as variances and construction level drawings are still needed. Commissioner Laffin asked about the window specs for the proposed Marvin Integrity windows. Mr. Garetz replied that the proposed windows were a familiar product and the choice was based on prior knowledge of their performance, cost and quality of the product. Upon the staff recommendation regarding the non-historic profile of the proposed windows, Mr. Roscoe and Mr. Garetz looked at other products for an alternative, settling on the Windsor style, which has a more appropriate sash profile. Mr. Garetz stated the security concerns for awning and casement windows on the west elevation and suggested reversing the arrangement, to awning windows on top and fixed windows below. Mr. Garetz responded to finding #8 regarding the cable deck railing, stating that due to safety concerns for a horizontal railing, he will work with staff to come up with an acceptable design.

The public hearing was closed.

Commissioner Dana moved to adopt the staff recommendation of approval.  
Commissioner Ferguson seconded the motion.

**The motion passed 8 – 0.**

**E. 208-210 Bates Avenue, Dayton's Bluff Historic District**, by Karen Gjerstad, architect, for a building permit to rehabilitate the historic Schacht Building into housing.  
**File #12-042** (Boulware, 266-6715)

Staff read the report recommending approval of the application.

The applicants, Karen Gjerstad and Bob Roscoe, and the contractor, Jeff Garetz, were present to discuss the proposal.

Mr. Garetz explained the limitations that prevent moving the location of the garage as recommended in the staff report. Moving the location of the garage would require the disturbance of more land, which the applicants want to avoid. A civil engineer worked on the pitch of the driveway and the turning radius for the turnaround in the driveway.

The public hearing was closed.

Commissioner Riehle moved to adopt the staff recommendation of approval.  
Commissioner Ferguson seconded the motion with a Friendly Amendment to remove condition #3 which stated "The location of the garage shall be shifted toward the north (side) of the property line with final review and approval by HPC staff."

**The motion passed 7 – 0.**

**VII. Old Business** - There was none.

**VIII. New Business**

**IX. Motion to Adjourn:** 7:57 p.m.

Submitted by: H. Holmes



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# Tax & Property Look Up Information - Quick Info

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## Quick Info

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[2010 Value Notice](#)
**Property Identification Number (PIN)** 33.29.22.32.0141

**Property Address** 216 Bates Ave

**Municipality** St. Paul

**Watershed** Capital Region W/S

**School District Number** 625

**Assessment Date** 01-02-2012   01-02-2013

**Tax Payable Year** 2013   2014

**Total Estimated Market Value** \$105,000   \$105,000

**Total Taxable Market Value**
**Total Estimated Land Value** \$24,000   \$18,000

**Total Estimated Building Value** \$81,000   \$87,000

**Property Tax** \$0.08

**Special Assessments** \$507.92

**Total Property Tax + Special Assessments** \$508.00

**Property Class Description** Exempt   Exempt

**Year Built** 1912

**# of Stories** 2.00

**Residential Finished SQ Feet/Comm,** 3360

**Ind, Apt Bldg Area**
**Foundation Size**

**The Plat or Section / Township / Range and Legal Description listed below may be an abbreviated legal description - Do not use to prepare legal documents**

**Section / Township / Range** 33-29-22

**Plat** Auditor's Subdivision No. 20

**Legal Description** Ex Nely 7o 4o/100 Ft Lots 5

To determine whether your property is  
Abstract or Torrens, call (651)266-2000

## Most Recent Sale

**Sale Date** 12-07-2007

**Sale Price** \$110,000

**Certificate of Real Estate Value** 365951

**Number** Comm Non-qualified Sale

**Sale Status** Government Or Exempt Party

**Sale Description** Sales

2010 Property Tax  
Statement

Minnesota State Form  
M1PR



Database Last Refreshed 02-15-2014 05:52:00  
Copyright 2003 Ramsey County  
Email: AskPropertyTaxandRecords@co.ramsey.mn.us

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**208-210 Bates, 216-218 Bates, and 716 Wilson  
Bid Tally**

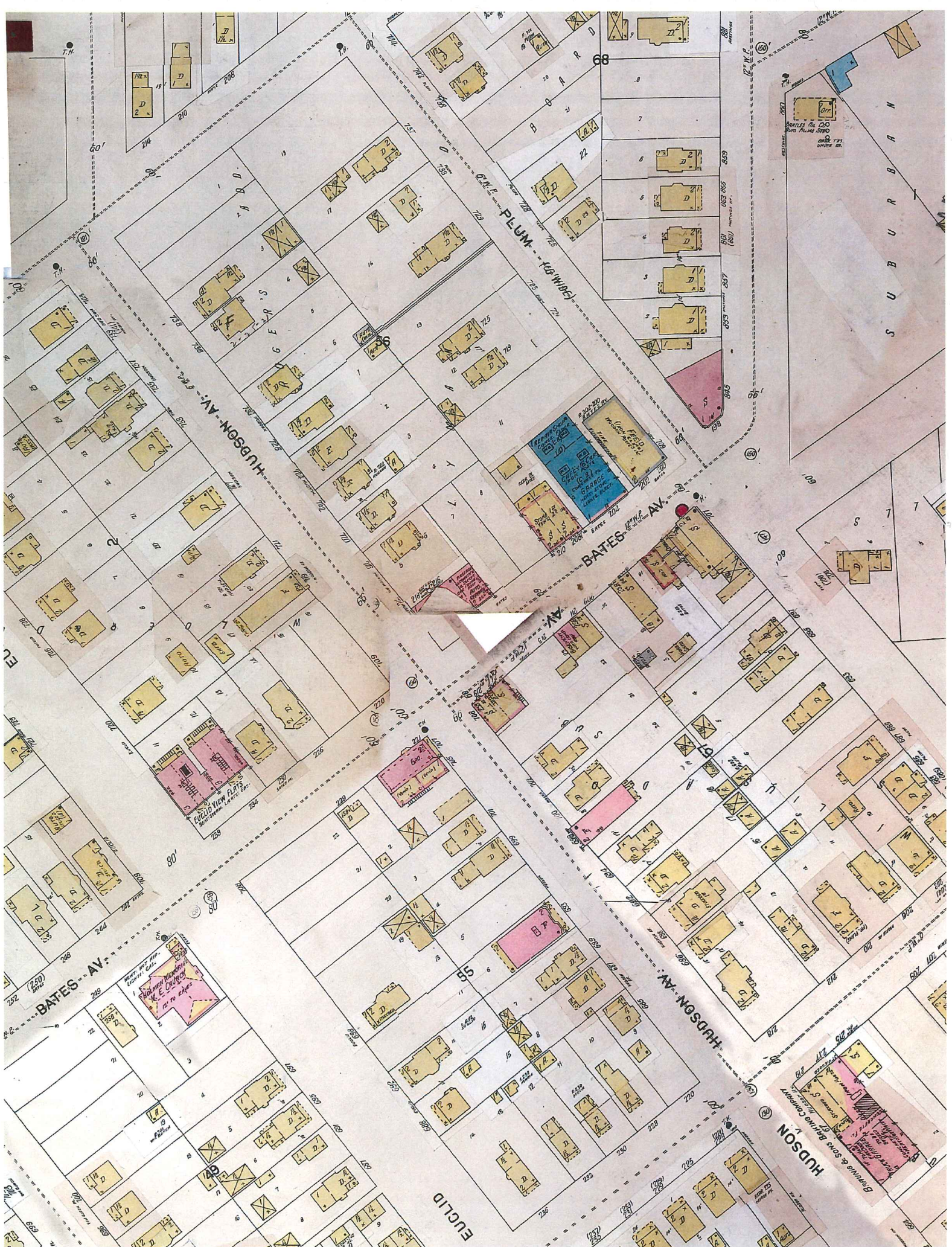
The following bids were submitted:

Contractor	Total Base Bid	Site Work - all properties			
Pollock Construction	\$1,641,541.03	208-210 Bates	216-218 Bates	716 Wilson	
AA Contracting	\$1,655,150.00	\$622,231.44	\$539,237.76	\$263,360.24	
Synergy Builders	\$1,839,239.00	\$625,710.00	\$640,740.00	\$271,200.00	
Flannery Construction	\$1,992,329.00	\$607,281.00	\$565,800.00	\$255,440.00	
<i>Building Code Tech: bid withdrawn</i>	<i>\$794,000.00</i>	<i>\$760,264.00</i>	<i>\$612,036.00</i>	<i>\$402,031.00</i>	











99-61171P

710

716 HUDSON AVE 720

218

00

2/2

GRANGE  
COPY 12/10/00  
HEAT STEAM HEATS  
IN ELEC. ROOM. FIRM  
PILMISTON

○ 1/2

5

9